

Commercial Building Tenant Improvement for:

Brown & Brown Insurance

PRESCOTT , ARIZONA

Vicinity Map



Project Information

CLIENT:	Brown & Brown Insurance 1055 Iron Springs Rd. Prescott, AZ 86305	PH: 928-445-3540 CONTACT: Ron Estabrook
PREPARED BY:	W. Alan Kenson & Assoc., P.C. P.O. Box 11593 Prescott, AZ 86304	PH: 928-443-5812 CONTACT: Alan Kenson WAKA@cableone.net
CONTRACTOR:	Kenson Construction Company Inc. 6135 Corsair Avenue Prescott, AZ 86301	PH: 928-443-5812 CONTACT: Alan Kenson WAKA@cableone.net
JOBSITE ADDRESS:	255 E. Sheldon St. Prescott, AZ 86301	
PARCEL NUMBER:	113-16-017B	
ZONING:	BG Business General	
CONST. TYPE:	V-B	
OCCUPANCY:	B Business	
EXISTING BUILDING	Existing 1st Floor: 5,676 S.F. Existing Basement: 2,610 S.F. Total Existing 8,286 S.F. Suite Area of Renovation: 3,295 S.F.	
PARKING	Parking is existing and sufficient	
BUILDING CODES:	2018 International Building Code 2018 International Fire Code 2018 International Plumbing Code 2018 International Mechanical Code 2018 International Fuel Gas Code 2017 National Electrical Code 2018 International Energy Conservation Code	

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M3.0	Mechanical Schedules and Details

ELECTRICAL

E1.0	Electrical Symbols, Spec's, Panel Schedule, One Line Diagram and Notes
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E1.2	Demolition and Proposed Power Floor Plans

Graphic Standards

	EXISTING DOOR		NORTH ARROW INDICATOR
	PROPOSED DOOR		DETAIL DESIGNATOR
	BUILDING SECTION DESIGNATOR		GRID LINE DESIGNATOR
	REVISION DESIGNATOR		ELEVATION DESIGNATOR
	DESCRIPTIVE NOTE DESIGNATOR		ROOM NUMBER / FINISH DESIGNATOR
	DOOR NUMBER DESIGNATOR		WINDOW TYPE DESIGNATOR
	DOOR TYPE DESIGNATOR		WALL TYPE DESIGNATOR

Project Description

Brown & Brown insurance intends to remodel a portion of the existing building creating 7 new offices, a conference room and a copy room. They will utilize the existing restrooms, reception area, break room and existing offices. HVAC and electric will be updated to accommodate the new spaces.

Architect:

W. Alan Kenson & Associates, P.C.

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ARCHITECTURE & PLANNING

DRAWING: Cover Sheet
PROJECT: Brown & Brown TI
255 E. Sheldon St.
Prescott, AZ
APN: 113-16-017B

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DATE August 20th, 2019
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CS1

Plumbing Calculations

	OCCUPANCY CLASSIFICATION	OCCUPANCY COUNT	WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	SERVICE SINK
	Business	37	1.5	.9	1	1
TOTAL REQUIRED			1.5	.9	1	1
TOTAL EXISTING			2 (SINGLE USER ACCESSIBLE)	2	*0	1

* THERE ARE NO EXISTING DRINKING FOUNTAINS IN THE BUILDING. TENANT AGREES TO PROVIDE BOTTLED WATER DISPENSER.

NOTE:
• PROVIDE A 6"x9" BLUE TACTILE 'EXIT' SIGN AS MANUFACTURED BY 'SIMPLY EXIT SIGNS (#SE-1980)' OR EQUAL COMPLYING WITH ICCA117.1 AND IBC 1011.3 ADJACENT TO EACH DOOR TO AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE. SIGN SHALL BE MOUNTED 60" A.F.F. TO THE CENTER OF THE SIGN.

Egress Legend:

----->

A

XX

XX

XX

#

EXIT ACCESS

ACCESSORY USE (NO OCCUPANCY)

ROOM OCCUPANCY LOAD

SUBTOTAL OCCUPANCY LOAD

OCCUPANCY TOTAL
REQUIRED EXIT WIDTH (FACTOR = 0.2)
PROVIDED EXIT WIDTH

WORST CASE TRAVEL DISTANCE

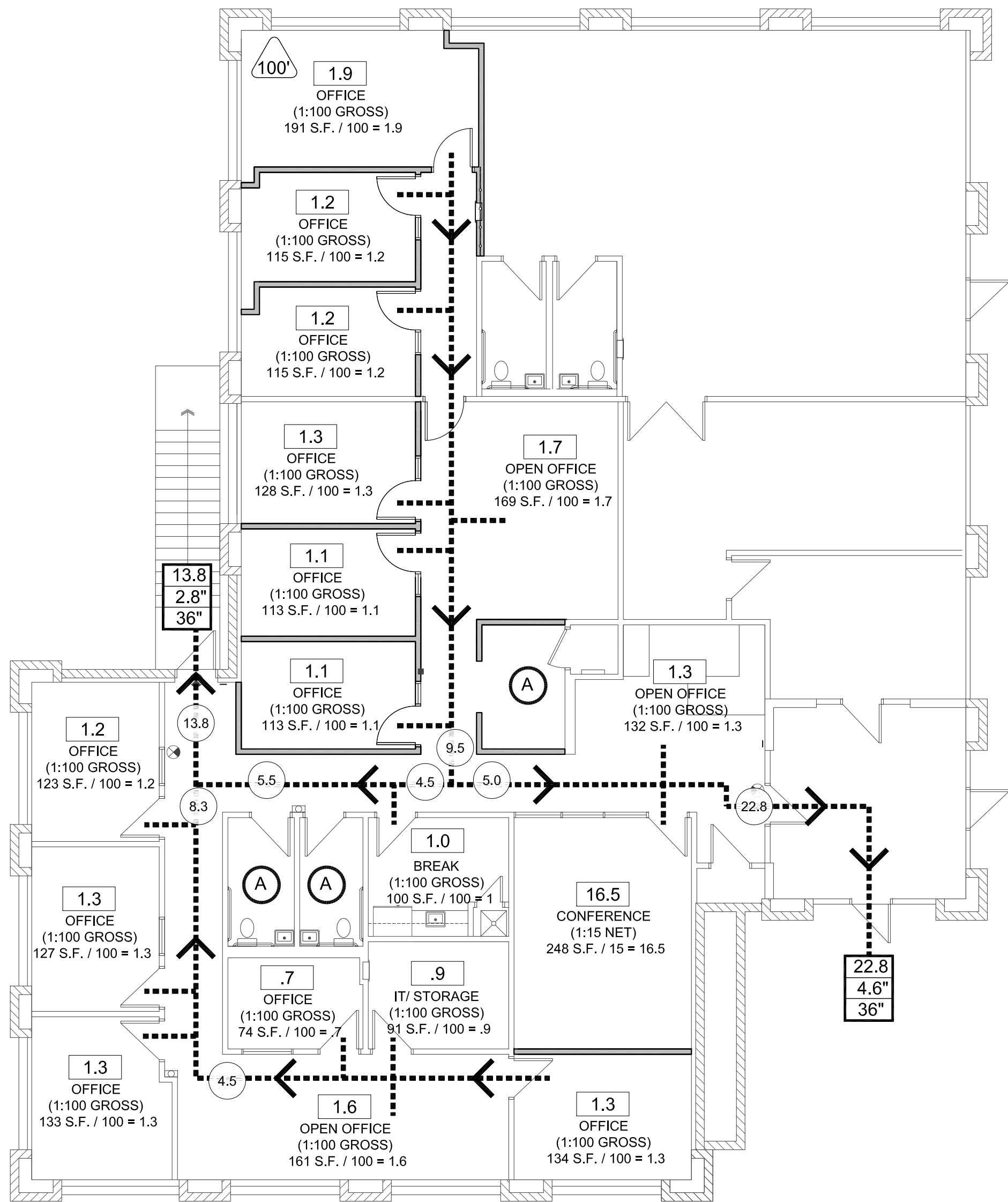
FUNCTION OF SPACE	OCCUPANT LOAD FACTOR
OFFICE	100 GROSS
CONFERENCE	15 NET

Occupant load

NOTE:
GROSS SQUARE FOOTAGE LISTED BELOW DOES NOT INCLUDE ACCESSORY AREAS.

BUSINESS AREAS:	2,019 SQ. FT.	20 OCCUPANTS
CONFERENCE RM:	248 SQ. FT.	16.5 OCCUPANTS
	TOTAL	37 OCCUPANTS

NOTE: BUILDING IS EXISTING, INCLUDING RESTROOMS.



Occupancy / Egress Floor Plan

Scale: 1/4"=1'-0"



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P.O. Box 11593

Prescott, AZ 86304

DRAWING: Code Summary / Egress Plan

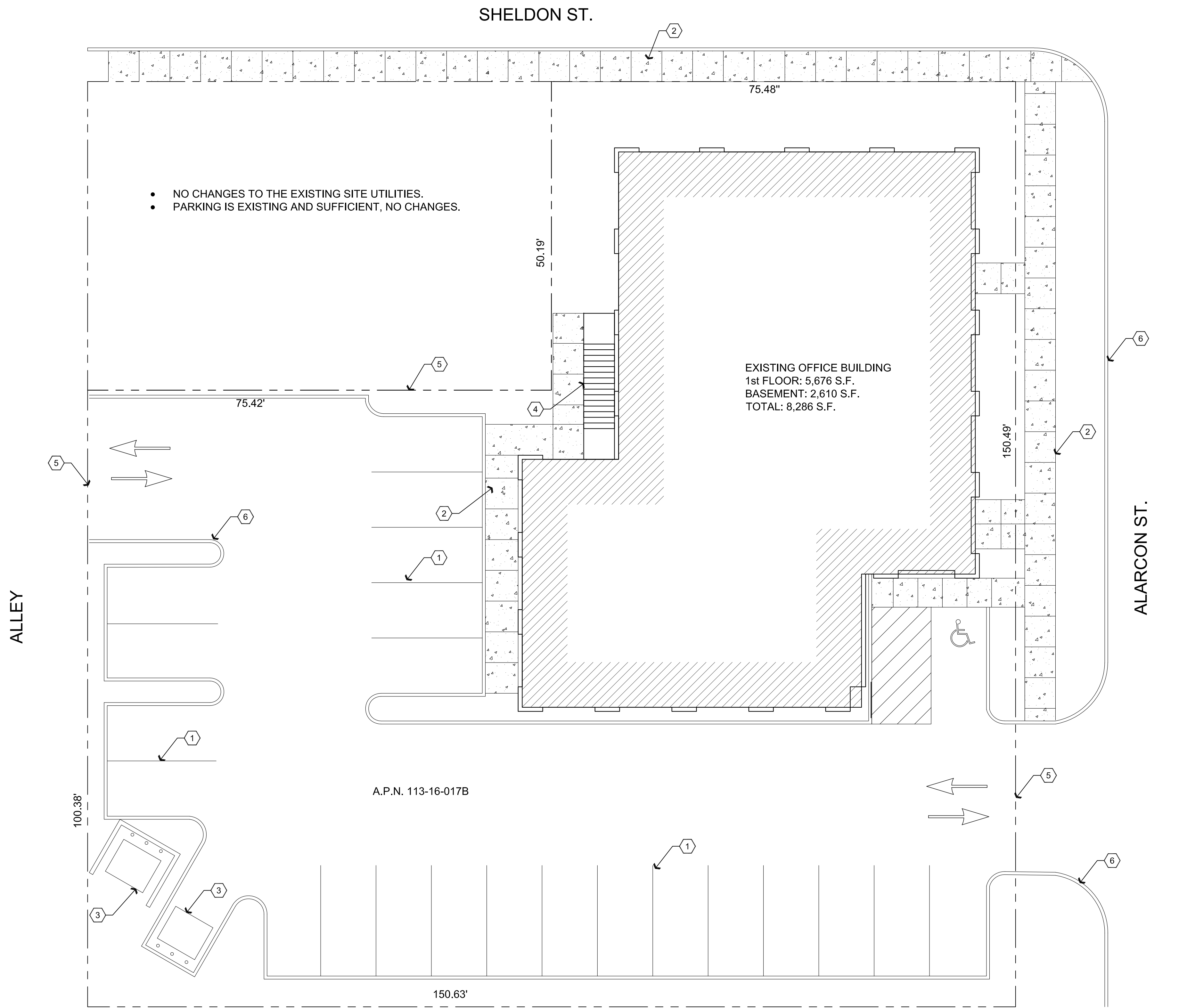
PROJECT: Brown & Brown TI
255 E. Sheldon St.
Prescott, AZ

APN: 113-16-017B

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CS2

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ARCHITECTURE & PLANNING

DRAWING: Architectural Site Plan

PROJECT: Brown & Brown TI
255 E. Sheldon St.
Prescott, AZ

APN: 113-16-017B

DRAWN BY L.O.
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DATE August 20th, 2019
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Hardware Schedule

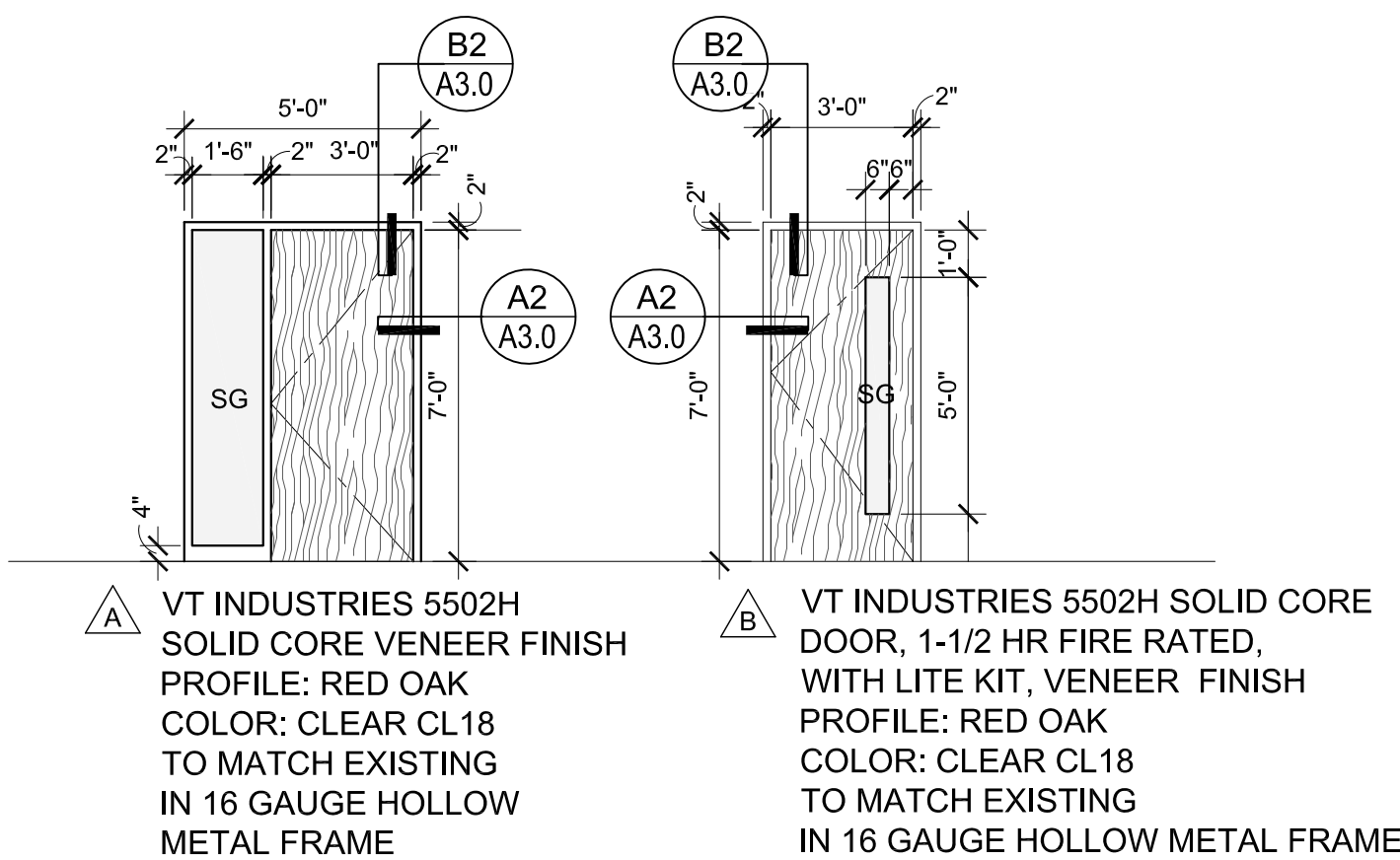
HARDWARE SET 1
SINGLE DOOR: TAG 100A, 102A, 103A, 104A, 105A
EACH DOOR TO HAVE:

QTY	DESCRIPTION	MANUFACTURER
3	HINGE 4.5 X 4.5 FBB179 626	STANLEY
1	ENTRY AL53PD X SAT 626	SCHLAGE
1	WALL STOP 1270CV 626	TRIMCO
3	SILENCERS SR64 GRY	IVES

HARDWARE SET 2
SINGLE DOOR
DOOR: TAG 107A

QTY	DESCRIPTION	MANUFACTURER
3	HINGE 4.5 X 4.5 FBB179 626	STANLEY
1	PASSAGE AL10S X SAT 626	SCHLAGE
1	HOLD OPEN SEM7850 12/24V 689	LCN
1	CLOSER QDC111 RW/PA 689	STANLEY
1	SMOKE SEAL S88BL - 17 BLK	PEMKO

Note: The SEM Hold Open must be wired into the fire alarm system



Door Schedule

NO.	ROOM NAME	SIZE	TYPE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE TYPE
100A	OFFICE	3'-0"x7'-0"	A	SCWD	STAIN	HM	PAINT	1
101A	OFFICE	3'-0"x7'-0"	A	SCWD	STAIN	HM	PAINT	1
102A	OFFICE	3'-0"x7'-0"	A	SCWD	STAIN	HM	PAINT	1
103A	OFFICE	3'-0"x7'-0"	A	SCWD	STAIN	HM	PAINT	1
104A	OFFICE	3'-0"x7'-0"	A	SCWD	STAIN	HM	PAINT	1
105A	OFFICE	3'-0"x7'-0"	A	SCWD	STAIN	HM	PAINT	1
107A	CORRIDOR	3'-0"x7'-0"	B	SCWD	STAIN	HM	PAINT	2

NOTES:

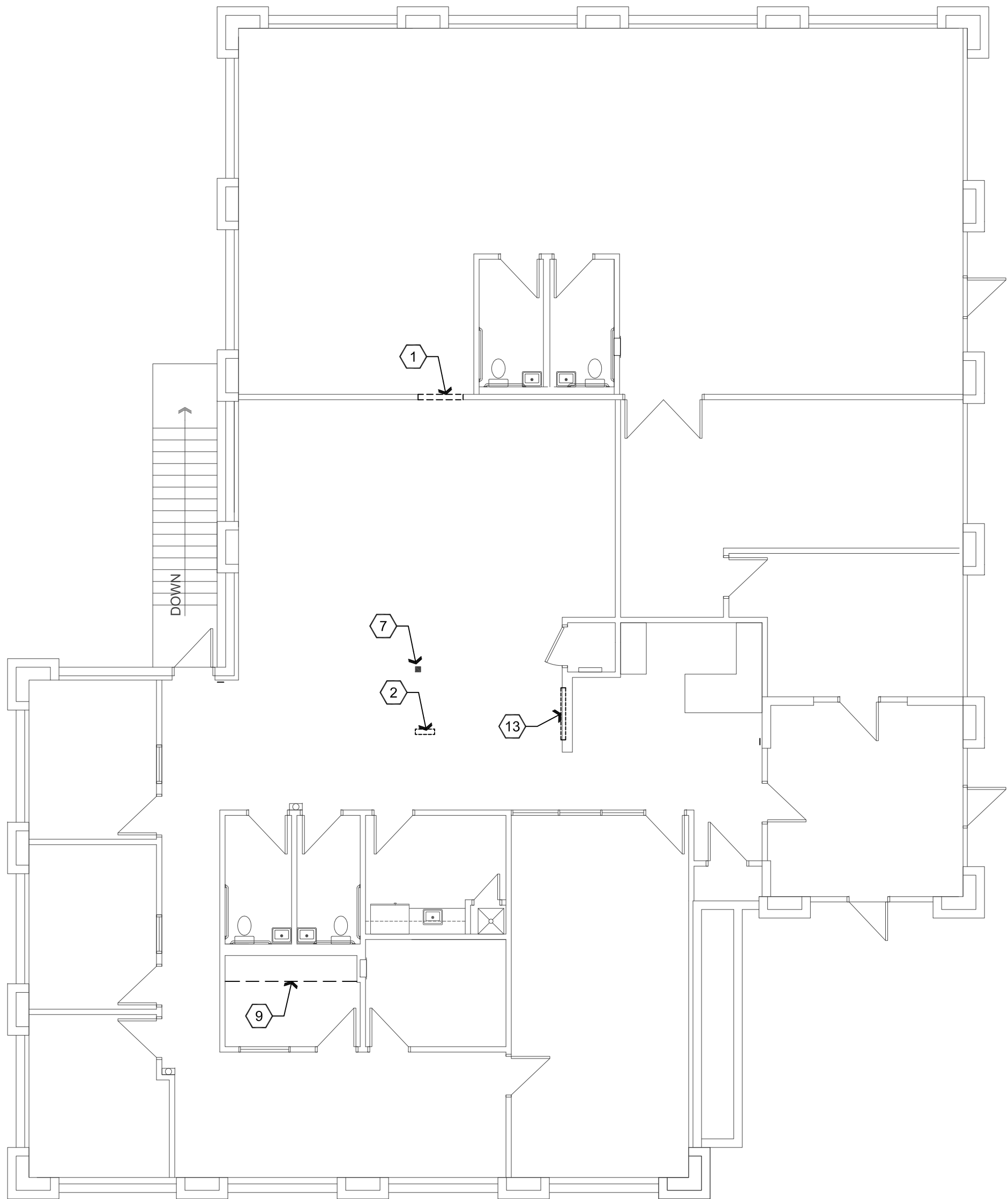
- ALL EXIT DOORS & HARDWARE SHALL COMPLY WITH THE 2012 I.B.C.
- DOOR THRESHOLDS SHALL HAVE A MAX HEIGHT OF 1/2" FOR H.C. ACCESSIBILITY. THRESHOLD SHALL HAVE A MAXIMUM RISE OF 1/4" AND 1/2" RISE WHEN BEVELED WITH MAXIMUM 1:2 SLOPE.
- ALL GLAZING IN DOORS SHALL BE SAFETY GLAZING.
- ALL INTERIOR DOORS SHALL BE OPERABLE FOR EMERGENCY EXITING PURPOSES WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE NOR EFFORT.
- ALL GLAZING WITHIN 24" OF OPENINGS SHALL BE SAFETY GLASS.
- IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
- DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. HARDWARE REQUIRED FOR DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISH FLOOR.
- DOOR OPENING FORCE SHALL BE: 5lbf MAX INTERIOR HINGED, SLIDING OR FOLDING DOORS; FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.

Descriptive Keynotes

- REMOVE PORTION OF EXISTING DEMISING WALL FOR INSTALLATION OF NEW DOOR.
- REMOVE WALL.
- PROVIDE NEW WALL, TYPICAL, REFER TO WALL TYPES.
- PROVIDE NEW DOOR, TYPICAL, REFER TO DOOR SCHEDULE.
- ALIGN NEW WALL WITH EXISTING WALL.
- ALIGN NEW WALL WITH EXISTING WINDOW MULLION.
- EXISTING COLUMN TO REMAIN.
- PROVIDE A 6"x9" BLUE TACTILE 'EXIT' SIGN AS MANUFACTURED BY 'SIMPLY EXIT SIGNS (#SE-1980)' OR EQUAL COMPLYING WITH ICCA117.1 AND IBC 1011.3 ADJACENT TO EACH DOOR TO AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE. SIGN SHALL BE MOUNTED 60" A.F.F. TO THE CENTER OF THE SIGN.
- REMOVE EXISTING MILLWORK.
- PROVIDE ELECTRICAL PANEL, REFER TO ELECTRICAL PLANS.
- EXISTING FIRE EXTINGUISHER.
- EXISTING FIRE ALARM PANEL.
- REMOVE EXISTING MAIL SLOTS.
- PATCH AND REPAIR WALL WHERE MAIL SLOTS WERE REMOVED, TO MATCH EXISTING.
- CUBICLE SPACE.
- EXISTING 'BUILT IN' RECEPTION COUNTER / DESK.

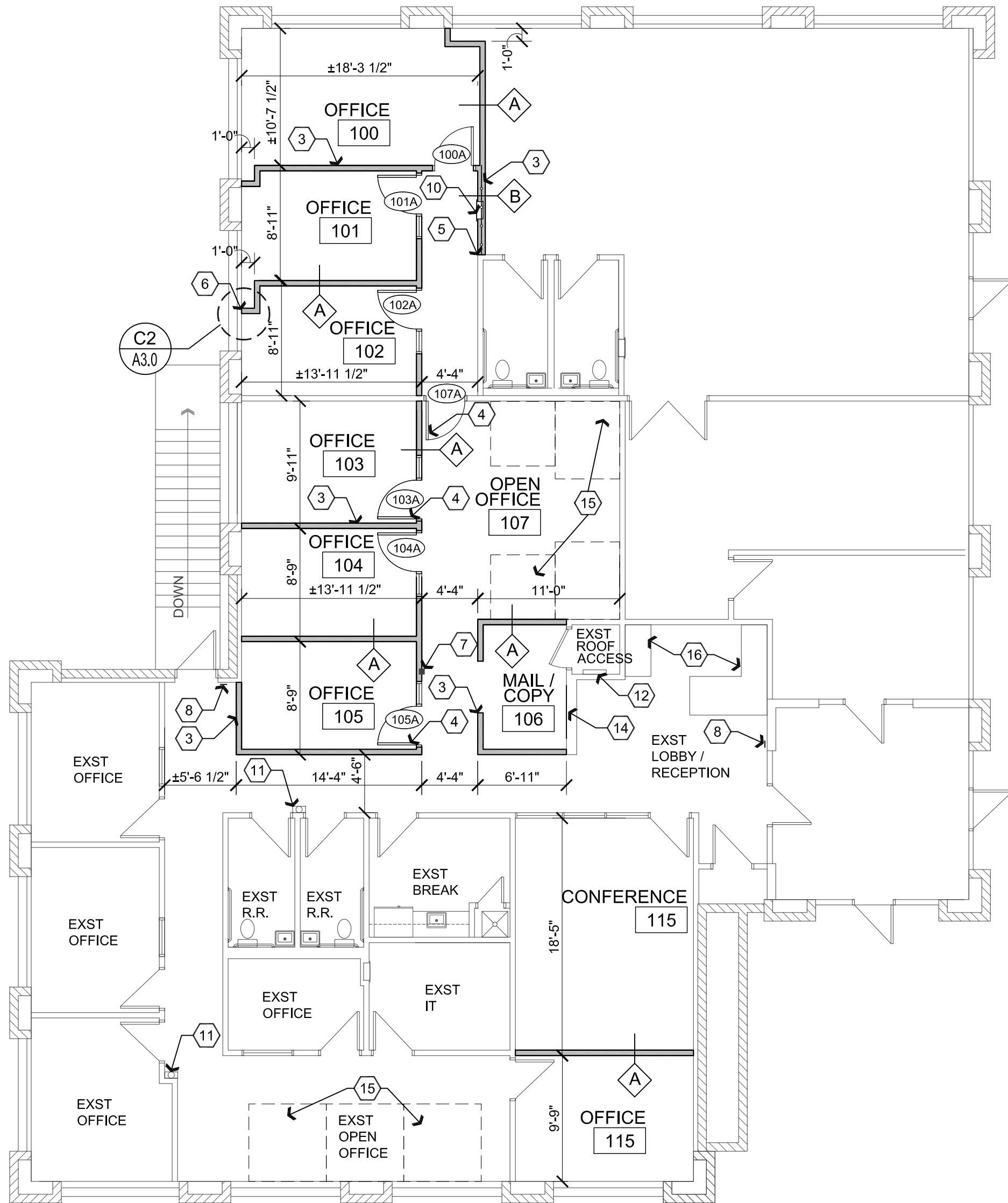
Wall Types

- A** INTERIOR PARTITION WALL:
PROVIDE TO 6" ABOVE CEILING 3-5/8" 25 GA. STEEL STUDS AT 2'-0" O.C. WITH 5/8" GPDW ON EXPOSED SIDES. PROVIDE R-11 UNFACED BATT INSULATION.
- B** INTERIOR PARTITION WALL:
PROVIDE TO 6" ABOVE CEILING 6" 25 GA. STEEL STUDS AT 2'-0" O.C. WITH 5/8" GPDW ON EXPOSED SIDES. PROVIDE R-19 UNFACED BATT INSULATION.
- EXISTING



B1 Demolition Floor Plan

Scale: 1/8"=1'-0"



C1 Reference / Dimension Floor Plan

Scale: 1/8"=1'-0"



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ARCHITECTURE & PLANNING

DRAWING: Demolition and Proposed Floor Plans
Door and Hardware Schedules, and Details

PROJECT: Brown & Brown TI
255 E. Sheldon St.
Prescott, AZ

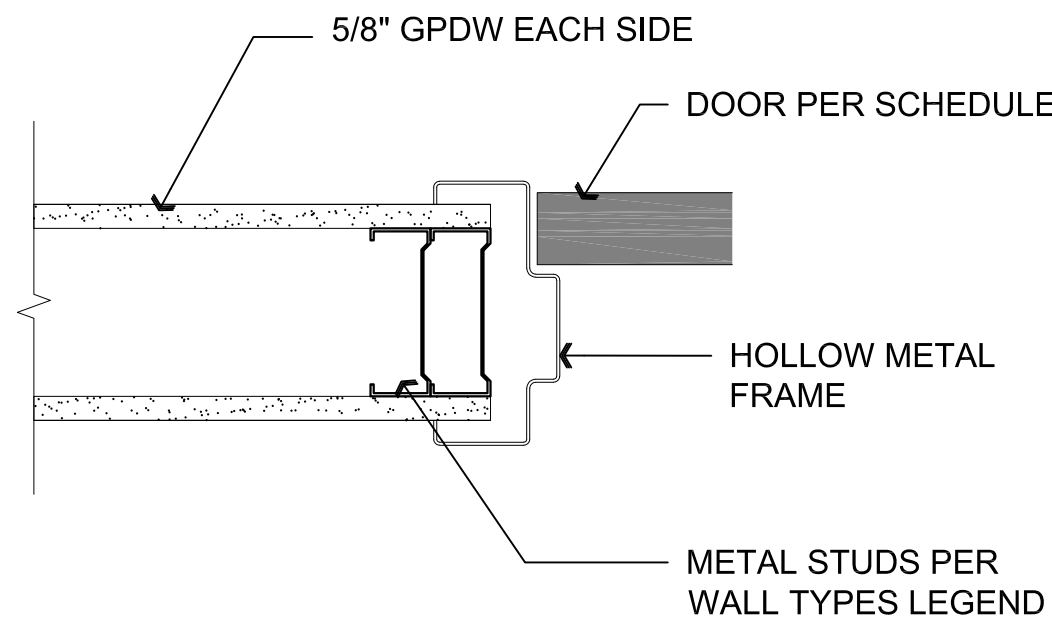
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CHECKED BY W.A.K.
DATE August 20th, 2019
JOB NO. 743
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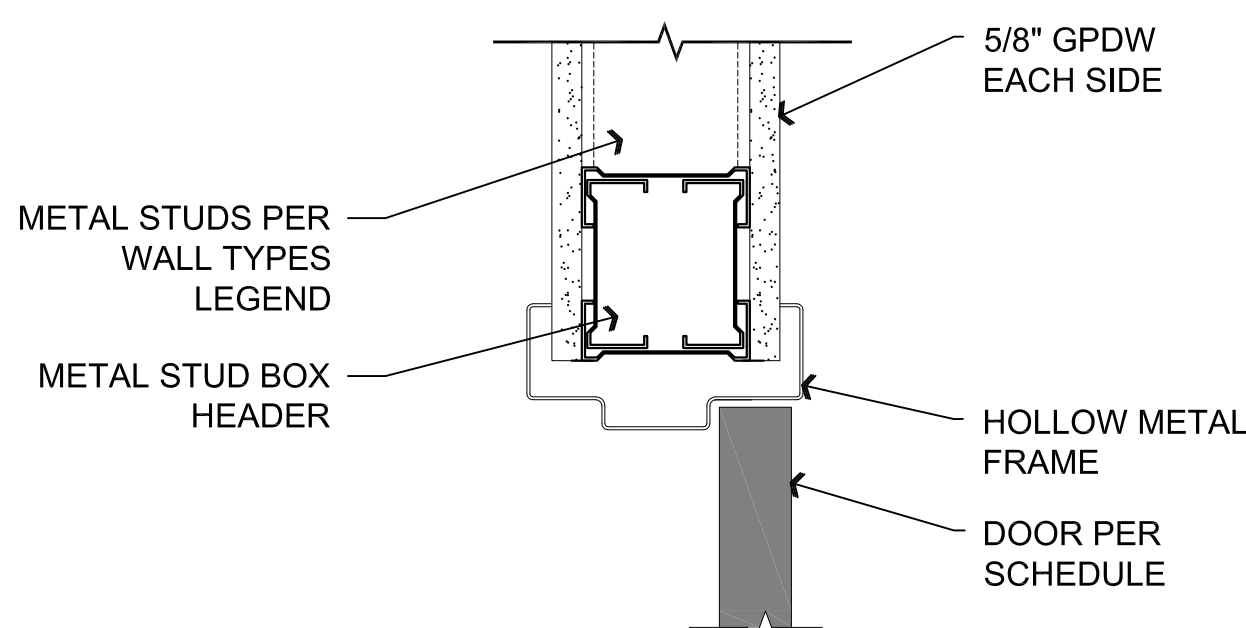
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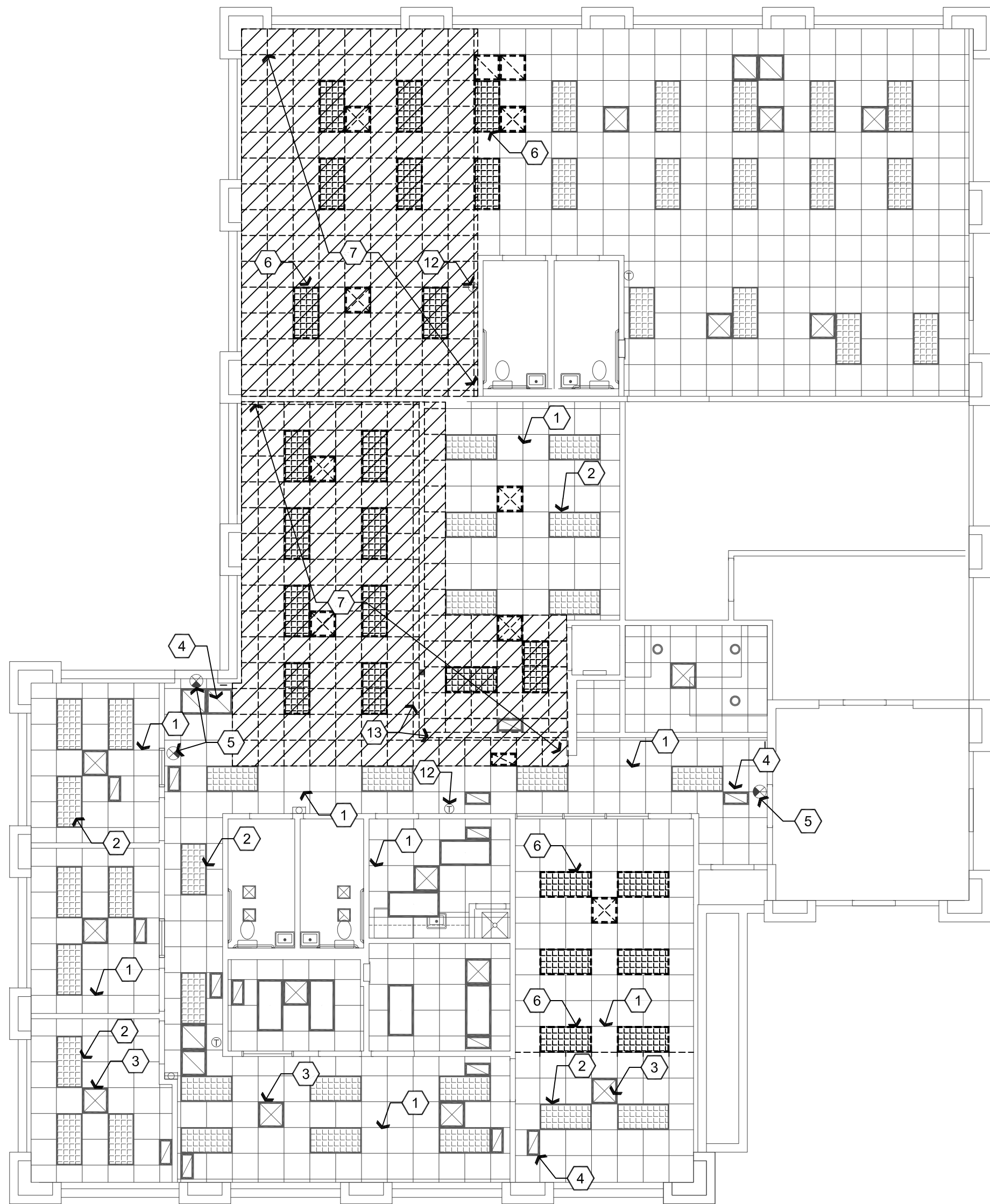
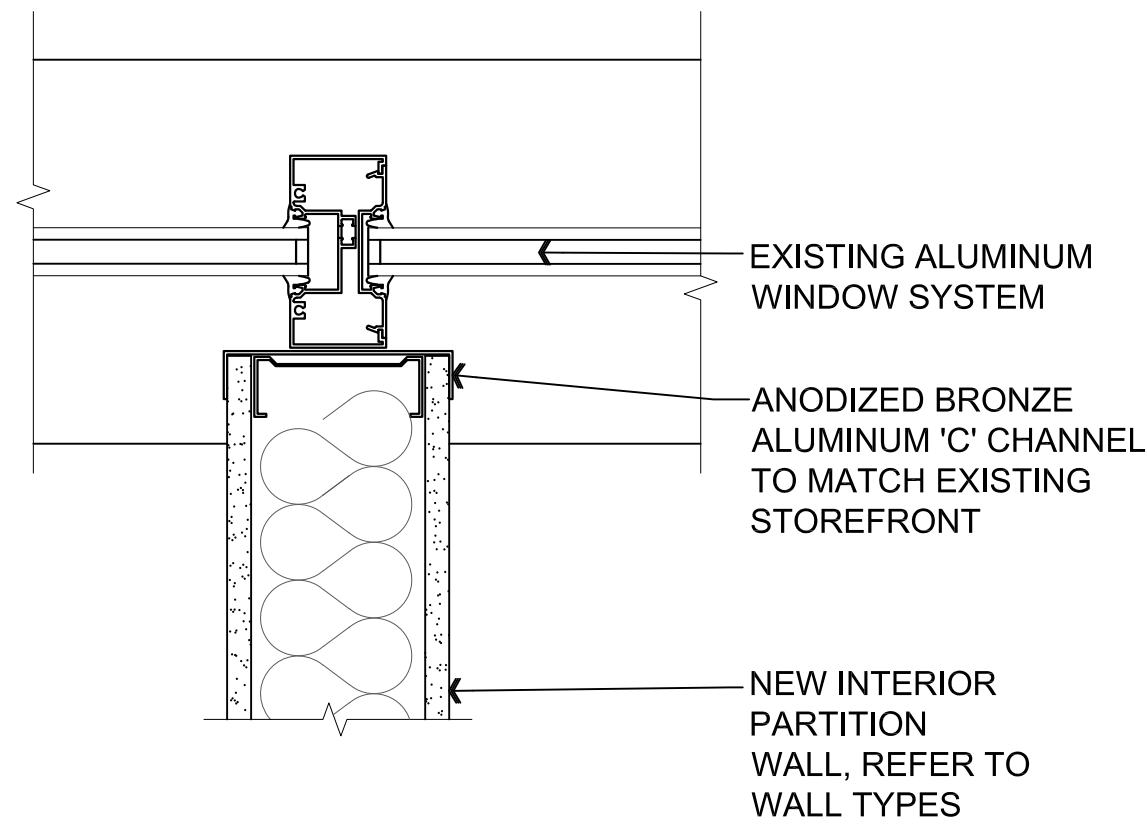
A2 Door Jamb @ Framed Wall
SCALE: 3" = 1'-0"



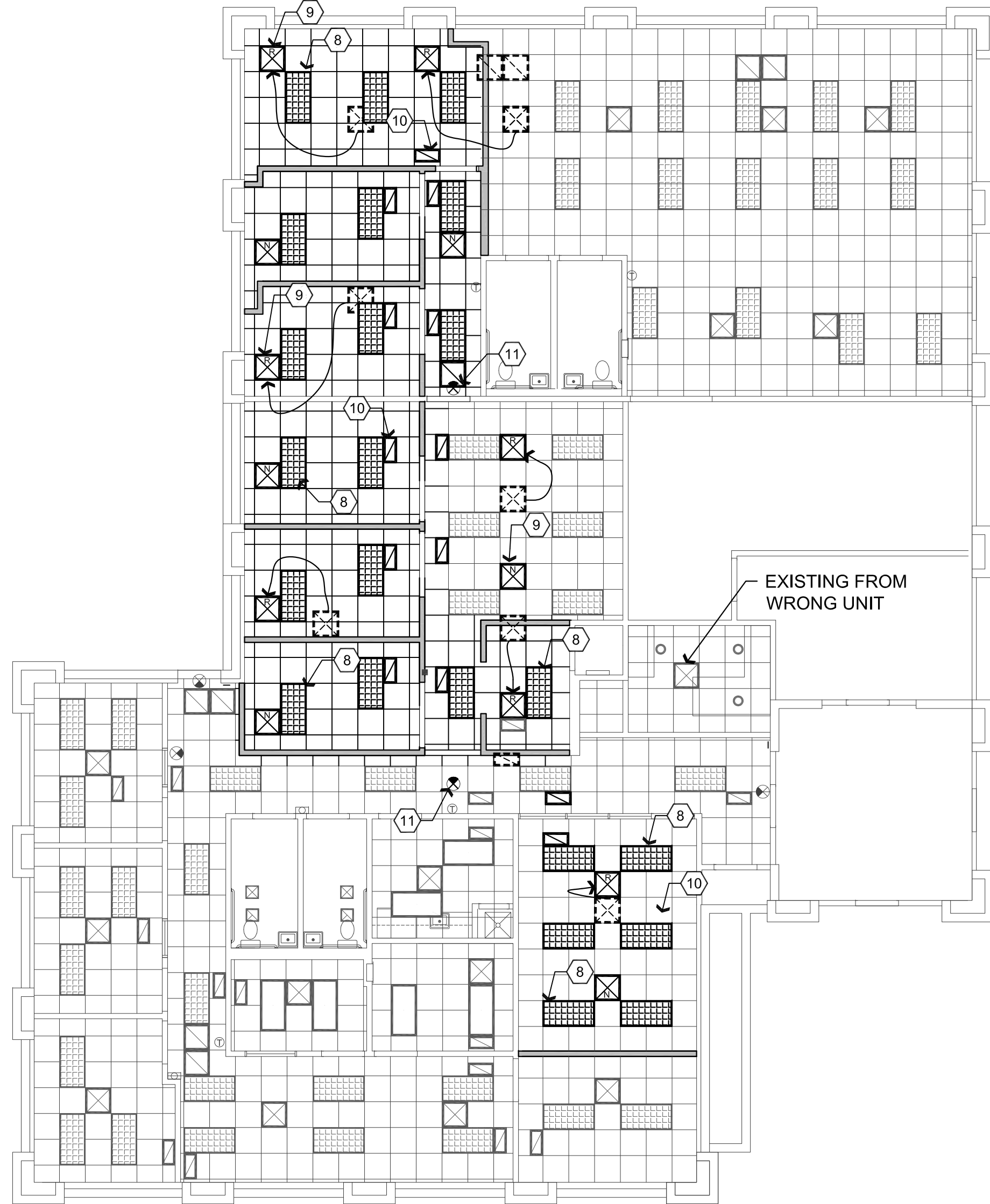
B2 Door Head @ Framed Wall
SCALE: 3" = 1'-0"



C2 Interior Wall at Mullion
SCALE: 3" = 1'-0"



A1 Demolition Reflected Ceiling Plan
Scale: 1/8"=1'-0"



B1 Proposed Reflected Ceiling Plan
Scale: 1/8"=1'-0"



Descriptive Keynotes

1. EXISTING SUSPENDED CEILING TO REMAIN, TYPICAL.
2. EXISTING LIGHT FIXTURES TO REMAIN, TYPICAL.
3. EXISTING HVAC SUPPLY TO REMAIN, TYPICAL.
4. EXISTING HVAC RETURN TO REMAIN, TYPICAL.
5. EXISTING EMERGENCY EXIT LIGHT TO REMAIN, TYPICAL.
6. REMOVE / RELOCATE EXISTING LIGHT, TYPICAL, REFER TO ELECTRICAL PLANS.
7. REMOVE ENTIRE SUSPENDED CEILING THIS AREA. ALL LIGHTING FIXTURES, HVAC SUPPLY DIFFUSERS AND RETURN VENTS WILL BE REMOVED AND RE-USED.
8. RELOCATED LIGHT, REFER TO ELECTRICAL PLANS.
9. RELOCATED OR NEW HVAC SUPPLY DIFFUSER, REFER TO MECHANICAL PLANS.
10. RELOCATED OR NEW HVAC RETURN VENT, REFER TO MECHANICAL PLANS.
11. PROVIDE NEW EMERGENCY EXIT LIGHT, REFER TO ELECTRICAL PLANS.
12. EXISTING THERMOSTAT TO REMAIN, TYPICAL.
13. REMOVE EXISTING FALSE BEAM.

Legend

- 2'x2' ACOUSTICAL PANEL CEILING AND GRID TO BE REMOVED
- NEW 2'x2' ACOUSTICAL PANEL CEILING AND GRID TO MATCH EXISTING
- EXISTING RECESSED TROFFER PARABOLIC LIGHT FIXTURE TO REMAIN
- EXISTING RECESSED TROFFER PARABOLIC LIGHT FIXTURE TO BE REMOVED / RELOCATED
- RELOCATED RECESSED TROFFER PARABOLIC LIGHT FIXTURE
- 2'x2' HVAC SUPPLY DIFFUSER TO REMAIN
- 2'x2' HVAC SUPPLY DIFFUSER TO BE REMOVED AND RELOCATED
- NEW 2'x2' HVAC SUPPLY DIFFUSER
- RELOCATED 2'x2' HVAC SUPPLY DIFFUSER
- 2'x2' OR 2'x1' HVAC RETURN TO REMAIN
- 2'x2' OR 2'x1' HVAC RETURN TO BE REMOVED AND RELOCATED
- NEW 2'x1' HVAC RETURN
- EXISTING EMERGENCY EXIT SIGN WITH BATTERY BACK-UP
- NEW EMERGENCY EXIT SIGN WITH BATTERY BACK-UP

NOTE:
REFER TO ELECTRICAL AND MECHANICAL PLANS.

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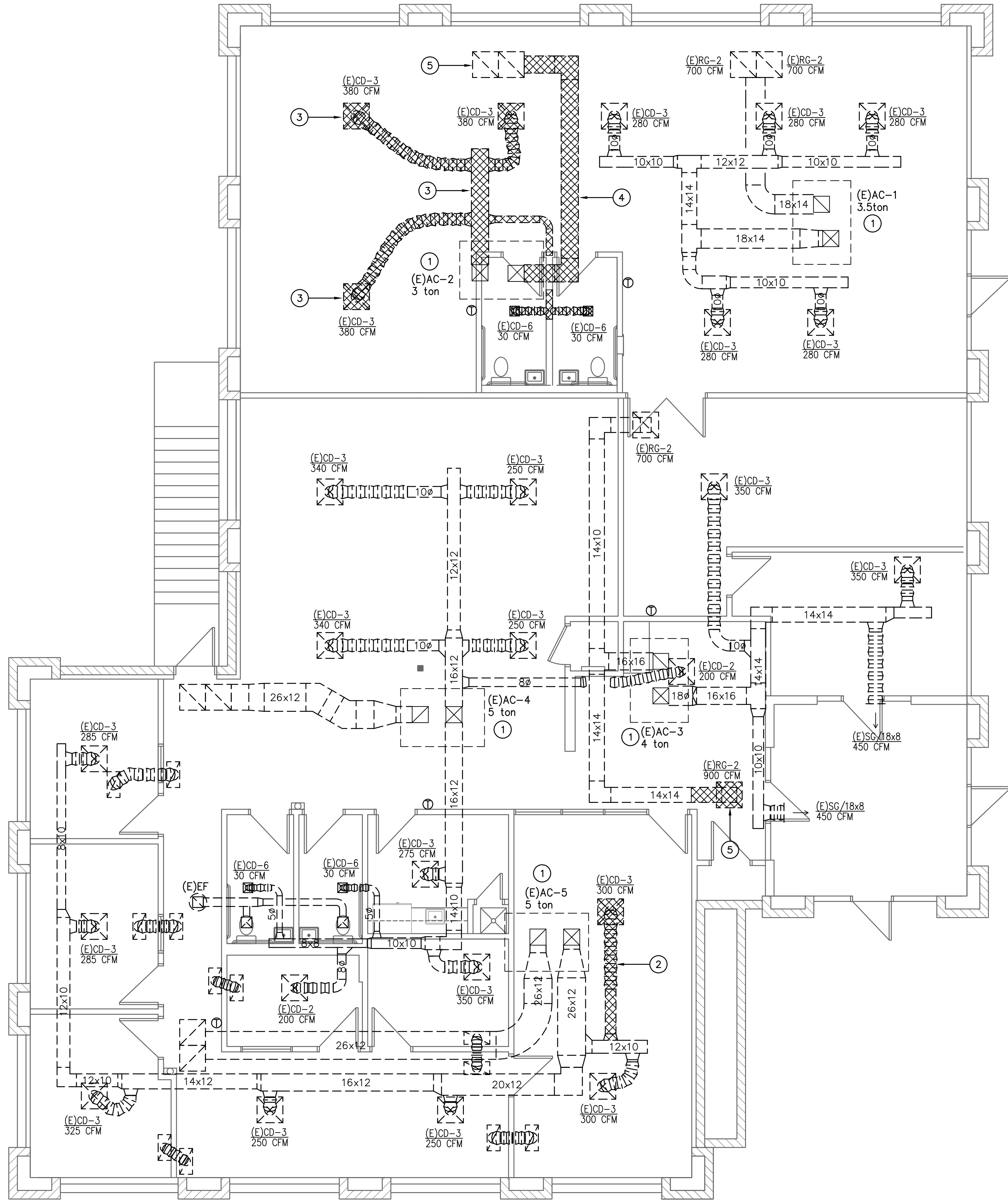
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ARCHITECTURE & PLANNING

DRAWING: Demolition and Proposed Reflected Ceiling Plans and Details
PROJECT: Brown & Brown T1
255 E. Sheldon St.
Prescott, AZ
APN: 113-16-017B

DRAWN BY
L.O.
CHECKED BY
W.A.K.
DATE
August 20th, 2019
JOB NO.
743
SHEET

A3.0

Jul 31, 2019 - 9:38am



M1 Mechanical Demo Floor Plan

Scale: 3/16"=1'-0"



KEYNOTES

- 1 EXISTING ROOF MOUNTED A/C. VERIFY AND REFURBISH UNIT AS NOTED BELOW. EXISTING CONDENSATE DRAIN TO REMAIN.
- 2 REMOVE EXISTING SUPPLY DIFFUSER AND BRANCH DUCT AND PATCH MAIN.
- 3 REMOVE EXISTING SUPPLY DIFFUSERS AND DUCTWORK BACK TO UNIT. CLEAN AND STOCKPILE DIFFUSERS FOR REUSE. REFER TO SHEET M2.0.
- 4 REMOVE EXISTING RETURN GRILLES AND DUCTWORK BACK TO UNIT. CLEAN AND STOCKPILE RETURN GRILLES FOR REUSE. REFER TO SHEET M2.0.
- 5 REMOVE EXISTING RETURN GRILLE AND DUCT SHOWN HATCH.

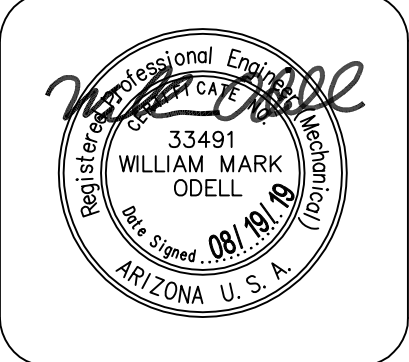
VERIFICATION AND REFURBISHMENT

CONTRACTOR SHALL VERIFY CAPACITY OF EXISTING ROOFTOP HEAT PUMP UNITS AND TEST FOR PROPER OPERATION. REFURBISH AS NOTED BELOW AS REQUIRED;

- a) VERIFY UNIT TONNAGE, CONFIGURATION, LOCATION, DATA, DUCT SIZE, ETC., AND NOTIFY ENGINEER IF CAPACITY OR LAYOUT IS OTHER THAN WHAT IS STATED HEREIN.
- b) START UNIT AND REPAIR/REPLACE MOTOR, FAN BELT, FUSES, OR CONTRACTORS AS MAY BE REQUIRED.
- c) CHECK FOR PROPER OPERATION AND INSTALLATION. CLEAN COIL AND CASING AND DETERMINE ANY/ALL REPAIRS THAT MAY BE REQUIRED TO RETURN UNIT TO PROPERLY FUNCTIONING CONDITION.
- d) INSPECT AND TEST T-STAT FOR PROPER OPERATION AND RELOCATE TO NEW LOCATION IF SHOWN ON MECHANICAL PLAN.
- e) TEST EXISTING CONDENSATE DRAIN FOR PROPER DRAINAGE. REPAIR OR REPLACE AS MAY BE REQUIRED.
- f) COMB CONDENSER COIL FINS.
- g) PROVIDE NEW AND CLEAN FILTER.

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ARCHITECTURE & PLANNING

DRAWING: Mechanical Demo Floor Plan

PROJECT: Brown & Brown TI
255 E. Sheldon St.
Prescott, AZ

APN: 113-16-017B

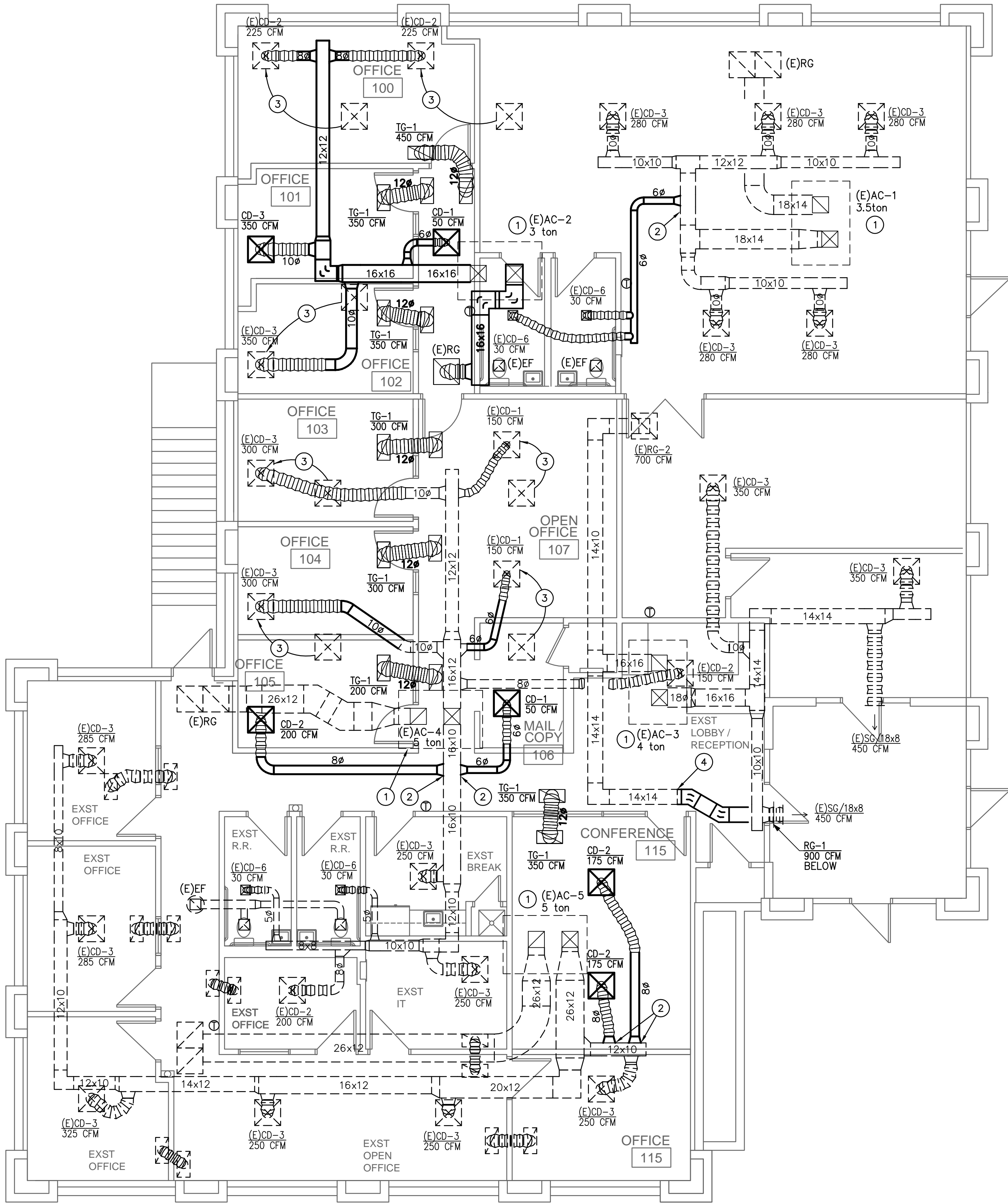
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DATE July 3rd, 2019
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M1.0



611 West Delano Ave
Prescott, AZ 86301
(908) 458-0001
Project #19080
11759 N. 143rd Ave.
Surprise, AZ 85379
(623) 444-6145

Jul 31, 2019 - 9:38am



M1 Mechanical Floor Plan

Scale: 3/16"=1'-0"



KEYNOTES

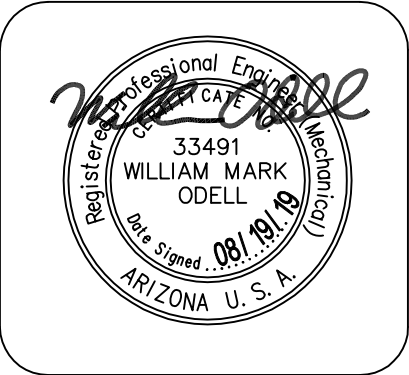
- EXISTING ROOF MOUNTED A/C. BALANCE OUTSIDE PER CALCULATION ON SHEET M3.0
- CONNECT NEW BRANCH DUCT TO EXISTING AND EXTEND TO NEW CEILING DIFFUSER.
- RELOCATE EXISTING SUPPLY DIFFUSER AS SHOWN. PROVIDE NEW OR EXTEND FLEX DUCT AS MAY BE REQUIRED.
- EXTEND 14x14 RETURN DUCT TO NEW SIDEWALL RETURN GRILLE LOCATED BELOW EXSITING SUPPLY GRILLE.

NOTE:
EXISTING HVAC SYSTEMS SHOWN ARE BASED ON AS BUILT DRAWINGS AND A LIMITED VISUAL INSPECTION. CONTRACTOR SHALL FIELD VERIFY ALL MECHANICAL SYSTEMS BEFORE BEGINNING ANY WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES FOUND THAT WILL CONFLICT WITH THE WORK SHOWN ON THESE DRAWINGS.

NOTE:
ALL FLEXIBLE AIR DUCT CONNECTORS SHALL BE TESTED IN ACCORD WITH UL 181 ABO LISTED AND LABLED AS CLASS 0 OR CLASS 1.

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DRAWING: Mechanical Floor Plan

PROJECT: Brown & Brown TI
255 E. Sheldon St.
Prescott, AZ

APN: 113-16-017B

DRAWN BY
CHECKED BY
DATE July 3rd, 2019
JOB NO. 743
SHEET

M2.0



611 West Delano Ave
Prescott, AZ 86301
(907) 458-0001

Project
#19080

11759 N. 143rd Ave.
Surprise, AZ 85379
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MECHANICAL SPECIFICATIONS

GENERAL REQUIREMENTS

GENERAL PROVISIONS WHICH MAKE SPECIFIC REFERENCE TO ELECTRICAL DIVISION ONLY ARE INCLUDED HEREIN FOR CLARITY AND SIMPLIFICATION OF SPECIFICATIONS WRITING AND ARE NOT PART OF THE MECHANICAL WORK. THE WORK OF DIVISION 15, MECHANICAL, IS SUBJECT TO THE CONDITIONS OF THE CONDITIONS OF THE CONTRACT, DIVISION 1, GENERAL REQUIREMENTS, AND APPLICABLE REQUIREMENTS OF OTHER PORTIONS OF THE CONTRACT DOCUMENTS. EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS AND COORDINATE THE MECHANICAL WORK ACCORDINGLY.

INTENT

IT IS THE INTENTION OF THE SPECIFICATIONS AND DRAWINGS TO CALL FOR FINISHED WORK, TESTED AND READY FOR OPERATION. ANY APPARATUS, APPLIANCE, MATERIAL OR WORK NOT SHOWN ON THE DRAWINGS, BUT MENTIONED IN THE SPECIFICATIONS OR VICE VERSA, OR ANY INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE AND READY FOR OPERATION, EVEN IF NOT PARTICULARLY SPECIFIED, SHALL BE PROVIDED WITHOUT ADDITIONAL EXPENSE TO THE OWNER. SHALL THERE APPEAR TO BE DISCREPANCIES OR QUESTIONS OF INTENT IN THE CONTRACT. DOCUMENTS, REFER THE MATTER TO THE ARCHITECT FOR HIS DECISION BEFORE ORDERING ANY MATERIALS OR EQUIPMENT OR BEFORE THE START OF ANY RELATED WORK. THE DECISION OF THE ARCHITECT SHALL BE FINAL, CONCLUSIVE AND BINDING.

DRAWINGS AND DATA

DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ARE INTENDED TO CONVEY SCOPE OF WORK AND TO INDICATE GENERAL ARRANGEMENT OF EQUIPMENT, DUCTS, CONDUITS, PIPING AND FIXTURES. THEY ARE NOT INTENDED TO SHOW EVERY OFFSET OR FITTINGS OR EVERY STRUCTURAL DIFFICULTY THAT MAY BE ENCOUNTERED DURING INSTALLATION OF THE WORK. LOCATION OF ALL ITEMS NOT DEFINITELY FIXED BY DIMENSIONS ARE APPROXIMATE ONLY. EXACT LOCATIONS NECESSARY TO SECURE BEST CONDITIONS AND RESULTS MUST BE DETERMINED AT PROJECT AND SHALL HAVE OVAL OF ARCHITECT BEFORE BEING INSTALLED. DO NOT SCALE DRAWINGS. IF SO DIRECTED BY ARCHITECT, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN LAYOUT AS NEEDED TO PREVENT CONFLICT WITH WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF WORK. INCLUDE MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER INSTALLATION AND OPERATION OF A SYSTEM OR PIECE OF EQUIPMENT IN BID PRICE.

CODES

INCLUDE IN WORK, WITHOUT EXTRA COST TO OWNER, LABOR, MATERIALS, SERVICES, APPARATUS, DRAWINGS (IN ADDITION TO CONTRACT DRAWINGS AND DOCUMENTS) REQUIRED TO COMPLY WITH APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS. DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE WHEN THEY ARE MORE STRINGENT THAN CODES, ORDINANCES, STANDARDS AND STATUTES. CODES, ORDINANCES, STANDARDS AND STATUES TAKE PRECEDENCE WHEN THEY ARE MORE STRINGENT OR CONFLICT WITH DRAWINGS OR SPECIFICATIONS. FOLLOWING INDUSTRY STANDARDS, SPECIFICATIONS AND CODES ARE MINIMUM REQUIREMENTS:

- A. APPLICABLE CITY, COUNTY, AND STATE MECHANICAL, ELECTRICAL, GAS, PLUMBING, HEALTH AND SANITARY CODES, LAWS AND ORDINANCES.
- B. CITY OR OTHER APPLICABLE BUILDING CODES.
- C. NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION STANDARDS.
- D. NATIONAL ELECTRIC SAFETY CODE.
- E. UNDERWRITER'S LABORATORIES, INC. STANDARDS.
- F. AMERICAN NATIONAL STANDARDS INSTITUTE.
- G. AMERICAN SOCIETY FOR TESTING MATERIALS STANDARDS.
- H. 2018 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS.
- I. REGULATIONS, PERMITS, INSPECTIONS: COMPLY WITH ALL APPLICABLE CODED, RULES AND REGULATIONS. ALL MATERIALS, EQUIPMENT AND WORK MUST CONFORM TO THE INTERNATIONAL MECHANICAL CODE. OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND LICENSES. WHEN REQUIRED BY CODE, ALL WORK MUST BE INSPECTED AND APPROVED BY LOCAL AUTHORITIES.

GENERAL

MATERIALS AND EQUIPMENT STANDARD PRODUCTS OF A REPUTABLE MANUFACTURER REGULARLY ENGAGED IN MANUFACTURE OF THE SPECIFIED ITEMS. WHERE MORE THAN ONE UNIT IS REQUIRED OF ANY ITEM, FURNISHED BY THE SAME MANUFACTURER, EXCEPT WHERE SPECIFIED OTHERWISE. INSTALL MATERIAL AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. SHOULD VARIANCE BETWEEN PLANS AND SPECIFICATIONS OCCUR WITH THESE, CONTACT ARCHITECT IMMEDIATELY SO THAT VARIATIONS IN INSTALLATION CAN BE KNOWN BY ALL PARTIES CONCERNED. PROVIDE EQUIPMENT FROM MANUFACTURER WHOSE PRODUCTS HAVE LOCAL REPRESENTATION.

EXECUTION

PROTECT EXISTING ACTIVE SERVICES (WATER, GAS, SEWER, ELECTRIC) WHEN ENCOUNTERED, AGAINST DAMAGE FROM CONSTRUCTION WORK. DO NOT PREVENT OR DISTURB OPERATION OF ACTIVE SERVICES WHICH ARE TO REMAIN. IF WORK MAKES TEMPORARY SHUTDOWNS OF SERVICES UNAVOIDABLE, CONSULT WITH OWNER AS TO DATES, PROCEDURES, AND ESTIMATED DURATION OF AT LEAST 10 WORKING DAYS IN ADVANCE OF DATE WHEN WORK IS TO BE PERFORMED. ARRANGE WORK FOR CONTINUOUS PERFORMANCE TO ASSURE THAT EXISTING OPERATING SERVICES WILL BE SHUT DOWN ONLY DURING THE TIME REQUIRED TO MAKE NECESSARY CONNECTIONS. IF A SYSTEM CANNOT SHUT DOWN, INSTALL TEMPORARY BYPASSES OR JUMPERS UNTIL CONNECTIONS ARE COMPLETE. CONTRACTOR RESPONSIBLE FOR ALL COSTS INCURRED BY ABOVE SHUTDOWNS, INCLUDING BYPASS OR JUMPER INSTALLATIONS, FOR WORK PERFORMED UNDER THIS SECTION. IF EXISTING ACTIVE UTILITY SERVICES ARE ENCOUNTERED WHICH REQUIRE RELOCATION, MAKE REQUEST TO PROPER AUTHORITIES FOR DETERMINATION OF PROCEDURES. PROPERLY TERMINATE EXISTING SERVICES TO BE ABANDONED IN CONFORMANCE WITH REQUIREMENTS OF AUTHORITIES. WHERE CONNECTIONS OR DISRUPTIONS ARE MADE TO EXISTING SYSTEMS, REACTIVATE, REFILL, AND RECHARGE ALL COMPONENTS AND RESTORE SYSTEMS TO OPERATING CONDITIONS AT TIME OF DISRUPTION.

GUARANTEE

EACH COMPLETE SYSTEM GUARANTEED BY CONTRACTOR FOR A PERIOD OF ONE YEAR, FROM DATE OF ACCEPTANCE OF WORK BY OWNER IN WRITING, TO BE FREE OF DEFECTS OF MATERIALS AND WORKMANSHIP, AND TO PERFORM SATISFACTORILY UNDER ALL CONDITIONS OF LOAD OR SERVICE. THE GUARANTEES PROVIDED THAT ANY ADDITIONAL CONTROLS, PROTECTIVE DEVICES, OR EQUIPMENT BE PROVIDED AS NECESSARY TO MAKE THE SYSTEM OF EQUIPMENT OPERATE SATISFACTORILY, AND THAT ANY FAULTY MATERIALS OR WORKMANSHIP BE REPLACED OR REPAIRED. ON FAILURE OF GUARANTOR TO DO THE ABOVE AFTER WRITTEN NOTICE FROM OWNER, THE OWNER MAY HAVE THE WORK DOWN AT THE COST OF GUARANTOR. LOSS OF REFRIGERANT IS CONSIDERED A DEFECT IN WORKMANSHIP AND/OR EQUIPMENT, TO BE CORRECTED AS REQUIRED AT NO EXTRA COST TO THE OWNER.

PROVIDE EXTENDED FIVE (5) YEAR FACTORY PARTS & LABOR WARRANTY ON ALL AIR CONDITIONING COMPRESSORS.

AIR CONDITIONING, HEATING AND VENTILATING

SCOPE

WORK UNDER THIS SECTION INCLUDES FURNISHING ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE REMODELING, INSTALLATION AND PLACING INTO OPERATION THE HEATING, VENTILATING AND AIR CONDITIONING WORK AS SPECIFIED HEREIN AND INDICATED ON THE DRAWINGS.

VERIFICATION OF DIMENSIONS:

SCALED AND FIGURED DIMENSIONS ARE APPROXIMATE ONLY. BEFORE PROCEEDING WITH WORK, CAREFULLY CHECK AND VERIFY AT THE SITE, AND RESPONSIBLE FOR PROPERLY FITTING EQUIPMENT AND MATERIALS TOGETHER AND TO THE STRUCTURE IN SPACES PROVIDED. DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND MANY OFFSETS, BENDS, SPECIAL FITTINGS AND EXACT LOCATIONS ARE NOT INDICATED. CAREFULLY STUDY DRAWINGS AND PREMISES IN ORDER TO DETERMINE BEST METHODS, EXACT LOCATIONS, ROUTES AND BUILDING OBSTRUCTIONS, PRESERVE HEADROOM, AND KEEP OPENINGS AND PASSAGEWAYS CLEAR.

CUTTING AND PATCHING:

CUT EXISTING WORK AND PATCH AS NECESSARY TO PROPERLY INSTALL THE NEW WORK. AS THE WORK PROGRESSES, LEAVE NECESSARY OPENINGS, HOLES AND CHASES, ETC., IN THEIR CORRECT LOCATIONS. IF THE REQUIRED OPENINGS, HOLES AND CHASES ETC., ARE NOT IN THEIR CORRECT LOCATIONS, MAKE THE NECESSARY CORRECTIONS AT NO COST TO THE OWNER. AVOID EXCESSIVE CUTTING AND DO NOT CUT STRUCTURAL MEMBERS WITHOUT CONSENT OF ARCHITECT.

REGULATIONS, PERMITS & INSPECTIONS

COMPLY WITH ALL APPLICABLE CODES, RULES AND REGULATIONS. ALL MATERIALS, EQUIPMENT AND WORK MUST CONFORM TO THE INTERNATIONAL MECHANICAL CODE. OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND LICENSES. WHEN REQUIRED BY CODE, ALL WORK MUST BE INSPECTED AND APPROVED BY LOCAL AUTHORITIES.

DUCTWORK

ALL DUCTWORK TO BE GALVANIZED LOCK FORMING SHEET METAL. SIZES SHOWN ARE CLEAR INSIDE DIMENSIONS. CONSTRUCT ALL DUCTWORK AND FITTINGS TO PROVIDE MINIMUM RESISTANCE AND NOISE LEVELS. DUCTWORK SHALL BE FABRICATED AND INSTALLED BY SKILLED MECHANICS IN A WORKMANLIKE MANNER USING THE LATEST EDITION OF THE "SMACNA" MANUAL AS A GUIDELINE. SEAL ALL SUPPLY AIR DUCTWORK AND RETURN AIR PLATFORMS/PLENUMS AIRTIGHT WITH APPROVED DUCT SEALER. TURNING VANES SHALL BE INSTALLED IN ALL MITERED ELBOWS.

FLEXIBLE DUCT

FLEXIBLE DUCT MAY BE USED FOR FINAL CONNECTION TO AIR DISTRIBUTION DEVICES, BUT SHALL NOT EXCEED 8 FEET IN LENGTH. FLEXIBLE DUCT SHALL HAVE A MINIMUM R-8 INSULATION VALUE.

DUCT INSULATION

DUCT SIZES ON DRAWINGS ARE "CLEAR INSIDE." INCREASE SHEET METAL SIZES ACCORDINGLY FOR LINED DUCTWORK. ADHESIVE AND INSULATING MATERIALS SHALL HAVE COMPOSITE FIRE AND SMOKE HAZARD RATINGS MAXIMUM 25 FOR FLAME SPREAD AND 50 FOR SMOKE DEVELOPED. ADHESIVES SHALL BE WATERPROOF.

DUCTS IN FLOOR TRUSSES OR OTHER CONDITIONED SPACE:

LINED DUCTWORK – SEMI-RIGID GLASS FIBER INSULATION, 1 1/2 PCF, 1 1/2" THICK, THERMAL CONDUCTIVITY AT 75°. MAXIMUM 0.17 BTU/IN./SQ. FT./DEG./HR. MINIMUM "R-VALUE" SHALL BE 6.0.

WRAPPED DUCTWORK – FIBER GLASS BLANKET WITH FRK VAPOR RETARDING FACING. 1 1/2 PCF, 2" THICK, WITH A MINIMUM INSTALLED "R-VALUE" OF 6.0. (ASSUMES 25% COMPRESSION)

DUCTS IN CEILINGS OR OTHER UNCONDITIONED SPACE:

LINED DUCTWORK – SEMI-RIGID GLASS FIBER INSULATION, 1 1/2 PCF, 2" THICK, THERMAL CONDUCTIVITY AT 75°. MAXIMUM 0.13 BTU/IN./SQ. FT./DEG./HR. MINIMUM "R-VALUE" SHALL BE 8.0.

WRAPPED DUCTWORK – FIBER GLASS BLANKET WITH FRK VAPOR RETARDING FACING. 0.75 PCF, 3" THICK, WITH A MINIMUM INSTALLED "R-VALUE" OF 8.0. (ASSUMES 25% COMPRESSION)

ACCEPTABLE MANUFACTURERS

THE FOLLOWING IS A LIST OF MANUFACTURERS WHOSE EQUIPMENT AND HVAC MATERIALS ARE ACCEPTABLE, SUBJECT TO CONFORMANCE WITH CONTRACT DOCUMENTS. VERIFY THAT THE EQUIPMENT WILL MEET ALL CAPACITIES, SPACE ALLOCATIONS, AND THAT THE WEIGHTS WILL NOT EXCEED STRUCTURAL DESIGN LOADS.

FLEXIBLE DUCT: GENFLEX, THERMAFLEX, OR EQUIVALENT.
DUCT AND PIPE INSULATION: KNAUF, OWENS-CORNING, MANVILLE, CERTAIN-TEED, PPG.

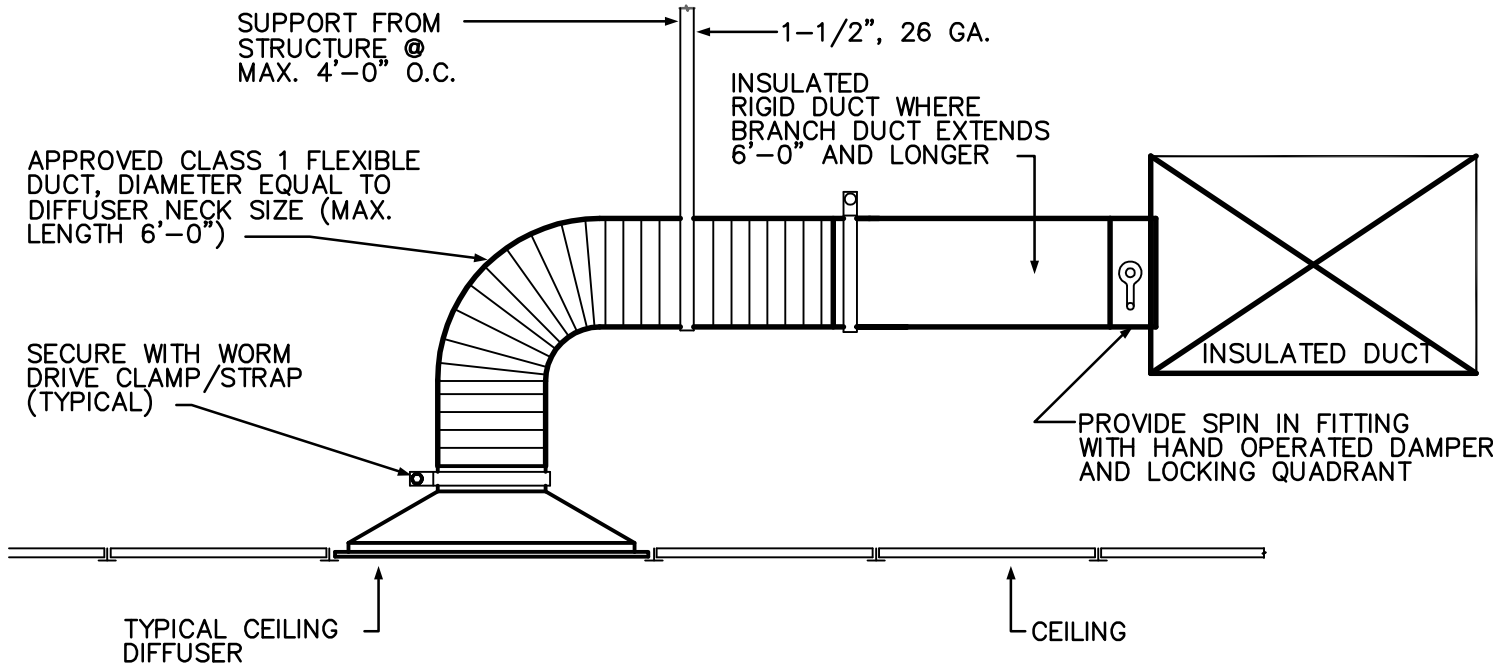
AIR SYSTEM BALANCING
AIR SYSTEMS AND AIR DISTRIBUTION TEST AND BALANCE: THE CONTRACTOR SHALL INCLUDE IN HIS BID THE SERVICES OF AN INDEPENDENT AIR BALANCE AND TESTING AGENCY. THE AGENCY SHALL BE APPROVED BY THE OWNER AND ARCHITECT. THE TESTING AGENCY SHALL BE ONE WHICH SPECIALIZES IN THE BALANCING AND TESTING OF HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS TO BALANCE, ADJUST AND TEST AIR MOVING EQUIPMENT AND AIR DISTRIBUTING OR EXHAUSTING SYSTEMS AS HEREIN SPECIFIED. ALL WORK SHALL BE DONE UNDER DIRECT SUPERVISION OF A REGISTERED PROFESSIONAL HEATING AND VENTILATING ENGINEER OR AABC OR NEBB CERTIFIED COMPANY. PROVIDE CERTIFIED REPORT.

GRILLES/REGISTERS/DIFFUSERS SCHEDULE

MARK	DESCRIPTION	MODULE SIZE	TYPE	OBD	FRAME	MATERIAL	FINISH	MANUF.	MODEL	REMARKS
CD-1	SUPPLY DIFFUSER	24" x 24"	SQUARE CEILING	NO	T-BAR	STEEL	WHITE	TITUS	TMS	6"ø NECK
CD-1	SUPPLY DIFFUSER	24" x 24"	SQUARE CEILING	NO	T-BAR	STEEL	WHITE	TITUS	TMS	8"ø NECK
CD-1	SUPPLY DIFFUSER	24" x 24"	SQUARE CEILING	NO	T-BAR	STEEL	WHITE	TITUS	TMS	10"ø NECK
TG-1	TRANSFER GRILLE	10" x 22"	SINGLE DFLT.	NO	SURFACE	STEEL	WHITE	TITUS	350RL	NECK PER PLAN
RG-1	SIDEWALL FILTER RETURN GRILLE	24" x 12"	SINGLE DFLT.	NO	SURFACE	STEEL	WHITE	TITUS	350RLF	HINGED FILTER GRILLE

NOTES:

- NECK SIZE SHOWN ON PLANS AND CORRESPONDS TO DUCT CONNECTION SIZE.
- CONTRACTOR SHALL PROVIDE SQUARE TO ROUND ADAPTERS AS REQUIRED FOR INSTALLATION.
- MOUNTING HEIGHT OF GRILLES AND EXACT LOCATION OF ALL DIFFUSERS TO FIELD COORDINATED AND APPROVED BY OWNER.
- VERIFY MAKE, MODEL AND COLOR OF ALL DEVICES WITH OWNER.



BRANCH DUCT TAKE-OFF DETAIL

NOT TO SCALE

1
M3.0

ASHRAE 62.1 OSA CALCULATION

Outside Air for AC-1

Space	Area	Occ Density	Rp	Pz	Ra	Az	Vbz
Office	954	5	5	4.77	0.06	954	81.1
Storage	110	0	0	0	0.12	110	13.2
Total Net OSA Required							94
Balance AC-1 for 94 CFM							

Outside Air for AC-2

Space	Area	Occ Density	Rp	Pz	Ra	Az	Vbz
Office	432	5	5	2.16	0.06	432	36.7
Corridor	80	50	5	4	0.06	80	24.8
Total Net OSA Required							62
Balance AC-2 for 62 CFM							

Outside Air for AC-4

Space	Area	Occ Density	Rp	Pz	Ra	Az	Vbz
Office	613	5	5	3.065	0.06	613	52.1
Break Room	101	25	5	2.525	0.06	101	18.7
Corridor	237	50	5	11.85	0.06	237	73.5
Reception	219	30	5	6.57	0.06	219	46.0
Storage	120	0	0	0	0.12	120	14.4
Total Net OSA Required							205
Balance AC-4 for 205 CFM							

Outside Air for AC-5

Space	Area	Occ Density	Rp	Pz	Ra	Az	Vbz
Office	820	5	5	4.1	0.06	820	69.7
Conference	248	50	5	12.4	0.06	248	76.9
Corridor	177	50	5	8.85	0.06	177	54.9
Storage	95	0	0	0	0.12	95	11.4
Total Net OSA Required							213
Balance AC-5 for 213 CFM							

6.2.2.1 Breathing Zone Outdoor Airflow. The design outdoor airflow required in the *breathing zone* of the occupiable space or spaces in a *zone*, i.e., the *breathing zone outdoor airflow* (V_{bz}), shall be determined in accordance with Equation 6-1.

$$V_{bz} = R_p \cdot P_z + R_a \cdot A_z \quad (6-1)$$

where

A_z = *zone floor area*: the net occupiable floor area of the zone m² (ft²)

P_z = *zone population*: the largest number of people expected to occupy the zone during typical usage. If the number of people expected to occupy the zone fluctuates, P_z may be estimated based on averaging approaches described in Section 6.2.6.2

Note: If P_z cannot be accurately predicted during design, it shall be an estimated value based on the zone floor area and the default occupant density listed in Table 6-1.

R_p = outdoor airflow rate required per person as determined from Table 6-1

Note: These values are based on adapted occupants.

R_a = outdoor airflow rate required per unit area as determined from Table 6-1

REVISIONS	BY

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DRAWN BY
CHECKED BY
DATE July 3rd, 2019
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ELECTRICAL SYMBOLS

NOTE: NOT ALL SYMBOLS ARE USED ON THIS PROJECT

- FLUORESCENT FIXTURE, WITH FIXTURE DESIGNATED BY LETTER. SMALL LETTER INDICATES SWITCH LEG
- NIGHT LIGHT- NOT SWITCHED OR EMERGENCY
- FLUORESCENT STRIP FIXTURE.
- CEILING OR WALLMOUNTED FIXTURE.
- PORCELAIN PULL CHAIN FIXTURE
- JUNCTION BOX
- JUNCTION BOX WITH FLEX CONNECTION.
- SINGLE FACE EXIT SIGN- NOT SWITCHED
- DOUBLE FACED EXIT SIGN- NOT SWITCHED.
- TWO HEAD EMERGENCY LIGHT WITH BATTERY.
- SINGLE POLE SWITCH, + 48" A.F.F. (20A-120/277V)
- THREE WAY SWITCH, + 48" A.F.F. (20A-120/277V)
- 4-WAY SWITCH +48" AFF (20A-120/277V)
- SWITCH AND PILOT LIGHT (20A-120-/277V)
- SINGLE POLE SWITCH, KEY OPERATED (20A)
- WALL OR CEILING MOUNTED MOTION SENSOR
MANUFACTURE BY LAVITON
- DIMMER CONTROL, + 48" A.F.F. TYPE, RATING AS NOTED
- DUPLEX RECEPTACLE, + 18" A.F.F. (20A)
- DUPLEX RECEPTACLE ABOVE COUNTER,
VERIFY HEIGHT. (20A)
- FOURPLEX RECEPTACLE, + 18" A.F.F. (20A)
- HALF SWITCHED DUPLEX RECEPTACLE (20A)
- SPECIAL RECEPTACLE - SIZE &
TYPE AS NOTED
- POWER / PHONE / DATA FLUSH FLOOR OUTLET
- TELEPHONE OUTLET PLASTER RING AT + 18" A.F.F.
HUBBELL #P12 COVERPLATE. 3/4" C. TO CEILING SPACE
UNLESS SHOWN WITH HOMERUNS.
- DATA SYSTEM OUTLET, 4" SQUARE BOX AND
COVERPLATE, 3/4" C. TO CEILING SPACE UNLESS
SHOWN WITH HOMERUN, + 18" A.F.F.
- TELE/DATA COMBO OUTLET, 4" SQUARE BOX AND
COVERPLATE, 3/4" C. TO CEILING SPACE UNLESS
SHOWN WITH HOMERUN, + 18" A.F.F.
- CABLE TELEVISION (CATV) OUTLET PLASTER RING AT
+ 18" A.F.F. U.N.O. HUBBELL COVERPLATE. 3/4" C.
TO CEILING SPACE UNLESS SHOWN WITH HOMERUNS.
- TELEPHONE SYSTEM CONDUIT HOMERUN
WITH NYLON PULLWIRE (1" C MIN UNO)
- CLOSED CIRCUIT TV (CCTV)
OUTLET SAME AS CATV OUTLET
- REMOTE CONTROL STATION @ +48" AFF
- DISCONNECT SWITCH, FUSE PER EQUIPMENT
MANUFACTURERS RECOMMENDATION. OUTSIDE NEMA
3R - N.F. = NON-FUSED.
- COMBINATION STARTER AND FUSIBLE
DISCONNECT SWITCH SIZE AS NOTED
- EQUIPMENT TERMINATION CONNECTION
POINT VERIFY EXACT LOCATION
LOAD AND VOLTAGE AS NOTED
- MOTOR
- THERMAL PROTECTED SWITCH
- MOTOR STARTER - SHADING INDICATES F.B.O.
- DISTRIBUTION PANELBOARD.
- BRANCH CIRCUIT PANELBOARD.
- CONDUIT BELOW FLOOR OR UNDERGROUND
- CONDUIT IN WALL OR ABOVE CEILING
- HOMERUN TO PANEL
- CONDUIT TURNING UP
- CONDUIT TURNING DOWN
- CONDUIT STUB-OUT, MARK AND CAP AS DIRECTED
- GROUND WIRE (SIZE AS NOTED) EXTENDED
AND CONNECTED TO APP'D GROUND

ALL WIRING #6 AWG AND LARGER SHALL BE
XHHW COPPER. #8 AWG AND SMALLER SHALL
BE THHN/THWN COPPER

SPECIFICATIONS

- PRIOR TO SUBMITTING BID, SUBCONTRACTORS SHALL EXAMINE ALL GENERAL CONSTRUCTION DRAWINGS AND VISIT THE CONSTRUCTION SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS UNDER WHICH HE WILL HAVE TO OPERATE AND WHICH IN ANY WAY AFFECTS THE WORK UNDER HIS CONTRACT. NO SUBSEQUENT ALLOWANCE WILL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
- THE SUBCONTRACTOR SHALL BE HELD FULLY RESPONSIBLE FOR THE PROPER RESTORATION OF ALL EXISTING SURFACES REQUIRING PATCHING, PLASTERING, PAINTING AND /OR OTHER REPAIR DUE TO THE INSTALLATION OF ELECTRICAL WORK UNDER THE TERMS OF THE CONTRACT. CLOSE ALL OPENINGS, REPAIR ALL SURFACES, ETC., AS REQUIRED.
- SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, ELEVATIONS AND BUILDING DETAILS. VERIFY LOCATION OF ALL OUTLETS, SWITCHES, AND WALL MOUNTED LIGHTING FIXTURES WITH ARCHITECTURAL DRAWINGS AND ACTUAL CONDITIONS. VERIFY ALL CEILING TYPES WITH ARCHITECTURAL DRAWINGS BEFORE ORDERING FIXTURES.
- PRIOR TO ROUGH-IN AND FINAL CONNECTION, VERIFY ELECTRICAL CHARACTERISTICS AND EXACT LOCATION OF EQUIPMENT.
- GROUT AND SEAL ALL CONDUIT PENETRATIONS OF WALLS AND FLOOR SLABS TO PRESERVE FIRE RATING AND WATERTIGHT INTEGRITY.
- BRANCH CIRCUIT WIRING SHALL BE THHN/THWN INSULATION. PANEL FEEDERS SHALL BE TYPE XHHW. ALL WIRE SHALL BE COPPER. MINIMUM WIRE SIZE SHALL BE #12.
- ALL WRING TO BE INSTALLED IN RACEWAYS. TYPE OF RACEWAY SHALL BE AS REQUIRED BY CODE. MINIMUM CONDUIT SIZE SHALL BE 1/2".
- PROVIDE CODE SIZED BOND WIRE IN ALL EMT, FLEXIBLE CONDUIT
- ALL ELECTRICAL EQUIPMENT SHALL BE NEW , U.L. APPROVED AND COMMERCIAL GRADE.
- WIRE RATED FOR 150° CENTIGRADE SHALL BE USED FOR ALL INCANDESCENT LIGHTING FIXTURES.
- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST NATIONAL CODE, (N.E.C.), AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- PROVIDE TYPEWRITTEN DESCRIPTIVE PANEL DIRECTORIES

FIRE WALL/FLOOR PENETRATION

ALL PENETRATIONS OF FIRE RESISTIVE FLOORS OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALL-
ATION DETAIL THAT CONFORM TO UNDERWRITERS LABOR-
ATORY'S LISTINGS FOR THROUGH PENETRATION FIRESTOP
SYSTEMS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING
DETAILS WHICH SHOW COMPLETE CONFORMANCE WITH THE
LISTING TO THE ARCHITECT AND SUCH DRAWINGS SHALL
BE AVAILABLE TO THE LOCAL GOVERNING INSPECTORS.
THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION
WITH ALL VARIABLES DEFINED.

OUTLET MOUNTING HEIGHTS PER AMERICAN DISABILITY ACT

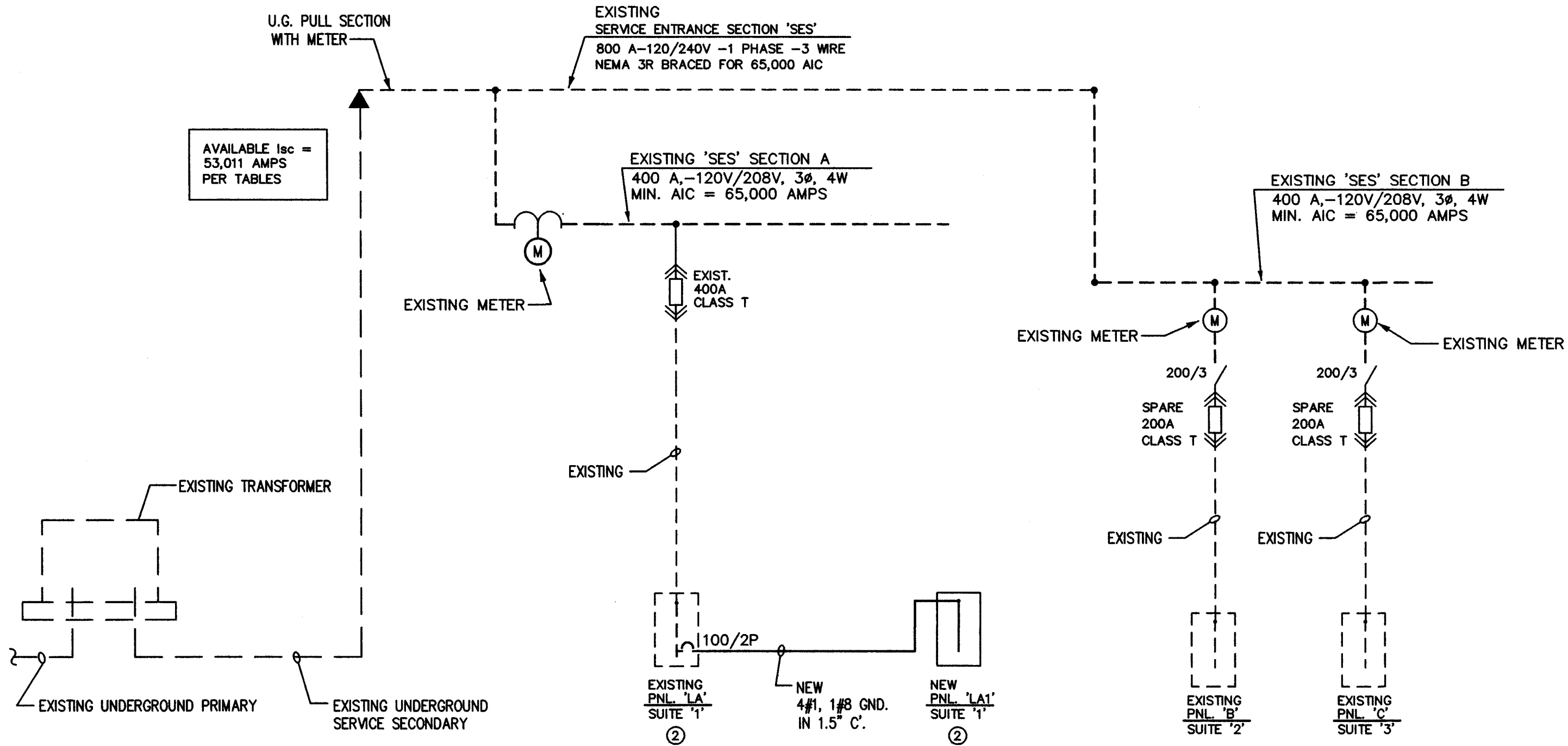
SWITCHES	+48" (MAX)
RECEPTACLES	+18" (MIN.)
TELEPHONE/DATA	+18" (MIN.)
SIDE REACH	+54" (MAX)

GENERAL ELECTRICAL DEMOLITION NOTES

- RETURN REMOVED MATERIAL DEEMED SALVAGEABLE TO OWNER'S REPRESENTATIVE. MATERIALS DEEMED NOT SALVAGEABLE SHALL BE REMOVED FROM THE PREMISES.
- THE CONTRACTOR WILL EXAMINE THE PREMISES AND SATISFIED HIMSELF AS TO EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO PERFORM HIS WORK. THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND THE CONTRACTOR SHALL FIELD VERIFY ALL DETAILS OF DEMOLITION.
- REMOVE ALL EXISTING WIRING DEVICES, LIGHT FIXTURES, WIRE, CONDUIT, DISCONNECTS, ETC., AS NOTED OR INDICATED WITHIN DEMOLITION AREA. (ALL ITEMS MAY NOT BE SHOWN.) REWORK AS NECESSARY ALL CIRCUITING WHICH REQUIRES CONTINUATION THROUGH THE AREA.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK REQUIRED TO REMOVE/RELOCATE ANY EXISTING ELECTRICAL EQUIPMENT SUCH THAT ELECTRIC SHOCK HAZARDS TO WORKMEN ARE ELIMINATED DURING DEMOLITION AND NEW CONSTRUCTION.
- REMOVED OR DAMAGED CONDUIT, WIRE AND FITTINGS SHALL NOT BE RE-USED
- WORK REQUIRED FOR EXISTING EQUIPMENT NOTED AS "EXISTING TO BE REMOVED" SHALL INCLUDE:
 - SALVAGING OR DISPOSING OF ALL MATERIAL OR EQUIPMENT AS DIRECTED BY OWNER OR OWNER'S REPRESENTATIVE.
 - REMOVAL OF FEEDER OR CABLING FROM EQUIPMENT TO POINT OF FEED.
 - REMOVAL OR RE-CIRCUITING (AS REQUIRED OR AS NOTED ON PANELS) OF ALL BRANCH CIRCUITING.
 - REMOVAL OF ALL FITTINGS, SUPPORTS, BRACKETS, ETC.
 - REPAIR AND PATCHING OF WALLS, FLOORS AND CEILINGS TO MATCH EXISTING OR PER ARCHITECT'S INSTRUCTIONS.
 - CAPPING OF IN-SLAB FEEDER CONDUITS FLUSH WITH THE FINISHED FLOOR.
- CAPPING OF FEEDER CIRCUITS AT 6" ABOVE OR BELOW THE FLOOR OR CEILING FOR IN-SLAB CONDUITS LOCATED UP NEXT TO A WALL OR FOR CEILING AREA CONDUITS.
- THE OPPOSITE END LOCATION OF ALL EMPTY FEEDER CONDUITS AT SWITCHBOARDS, PANELBOARDS, ETC., SHALL BE MARKED USING AN ENGRAVED BRASS TAG ATTACHED TO THE CONDUIT.
- EXISTING FEEDER CONDUITS SHALL BE REMOVED OR CUT OFF AND ABANDONED IF FOUND TO BE UNSALVAGEABLE BY THE OWNER, ARCHITECT OR ENGINEER.
- EXISTING EQUIPMENT NOT IMPLICITLY SHOWN ON THE DRAWINGS IS INTENDED TO BE "EXISTING TO REMAIN," UNLESS NOTED OTHERWISE.

PANELBOARD				LA		SCHEDULE			
MAINS: 400A MLO				LOAD-VA		LOCATION: SEE PLAN			
VOLTAGE: 120/240V, 1ø, 3ø						MOUNTING: FLUSH			
TYPE: GE (EXISTING)						MIN. A.J.C.: EXISTING			
CIRCUIT DESCRIPTION	BKR.	CR. NO.	ØA	ØB	CR. NO.	BKR.	CIRCUIT DESCRIPTION		
EXISTING EQUIPMENT	20	1			20	1	EXISTING EQUIPMENT		
		3							
		5							
		7							
		9							
		11							
		13							
		15							
		17							
		19							
		21							
		23							
		25							
		27							
		29							
		31							
		33							
		35	6420						
		37							
		39							
		41							
TOTAL LOAD PER PHASE: EXISTING ESTIMATED LOAD:				30000	30000	H#	30000 / 120V =	250.0 AMPS	
NEW ADDED LOAD:				6420	5900	H#	6420 / 120V =	53.5 AMPS	
TOTAL LOAD:				36420	35900	H#	36420 / 120V =	303.5 AMPS	

EXISTING AC-1 TO BE RE-FED FROM
EXISTING PANEL 'LB' AND REPLACE
BREAKER TO FEED NEW PANEL 'LA1'



NOTE:
ALL EQUIPMENT & WIRING
SHOWN DASHED IS EXISTING.
PROVIDE UNDER PREVIOUS
CONTRACT.

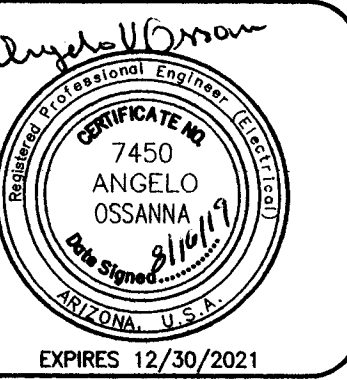
EXISTING ELEC. ONE LINE DIAGRAM

N.T.S.

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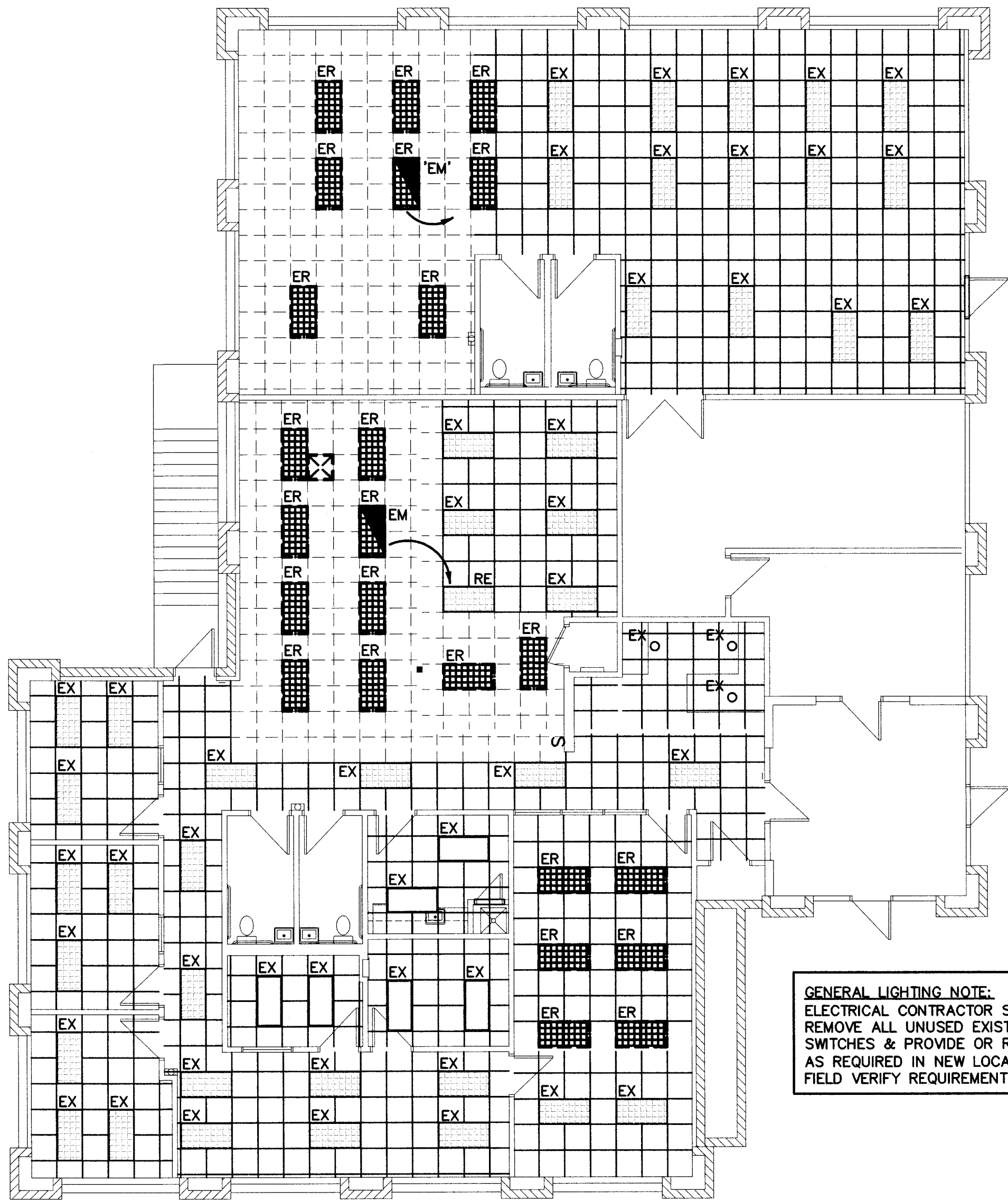


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DRAWING: Electrical Symbols, Spec's, Panel Schedule,
One-Line Diagram And Notes
PROJECT: Brown & Brown TI
255 E. Sheldon St.
Prescott, AZ
APN: 113-16-017B

DRAWN BY
CHECKED BY
DATE
July 3rd, 2019
JOB NO.
743
SHEET

E1.0



Demolition Lighting Plan

Scale: 1/8"=1'-0"



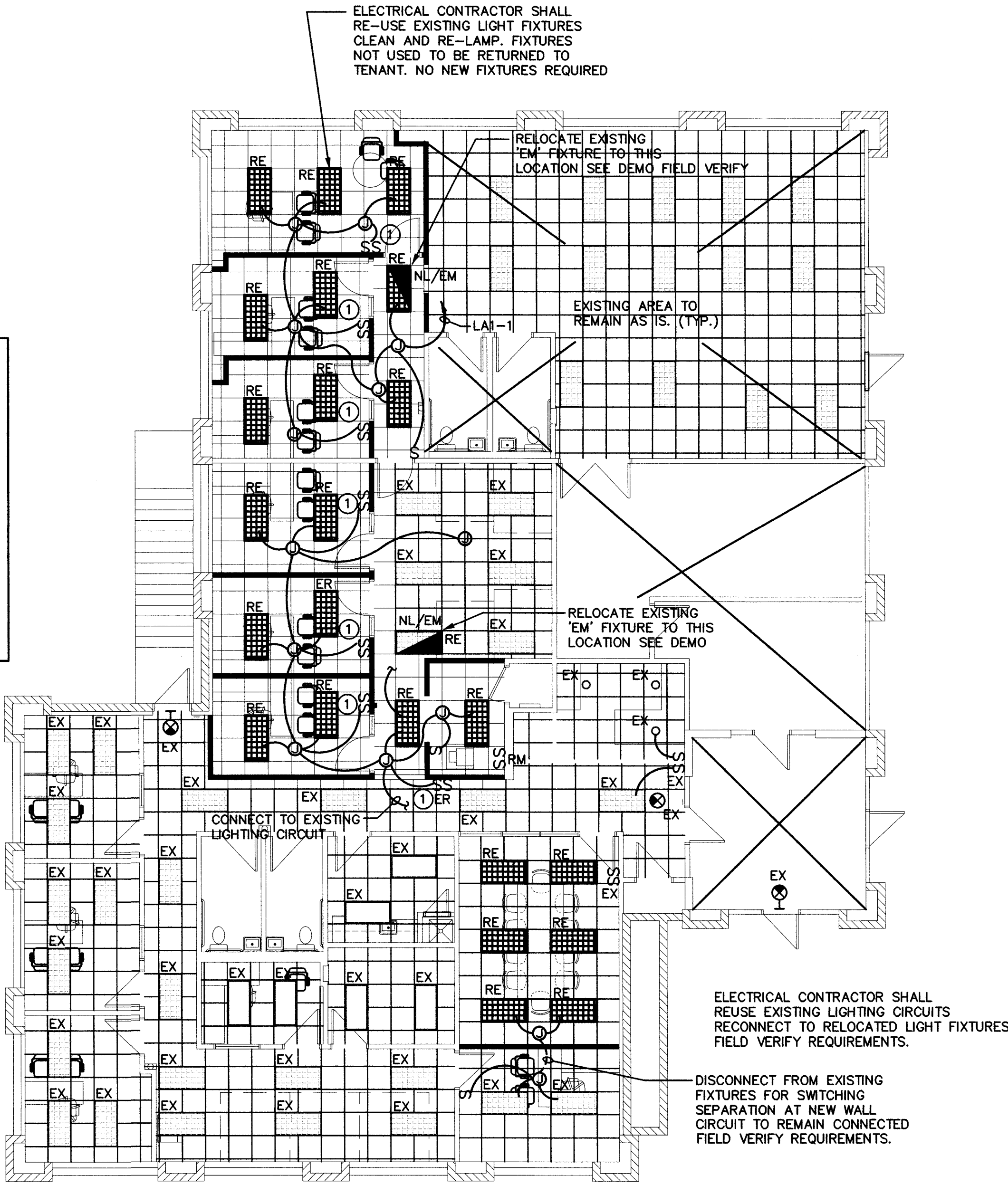
ABBREVIATIONS	
EX	EXISTING LIGHT OR DEVICE TO REMAIN
RE	EXISTING LIGHT OR DEVICE TO BE REPLACED OR RELOCATED EXTEND CIRCUITING AS REQUIRED IF NOT SHOWN.
ER	REPLACED OR RELOCATED LIGHT OR DEVICE
RM	REMOVED LIGHT OR DEVICE
A.F.F.	ABOVE FINISHED FLOOR (¢ OF OUTLET)
A.F.G.	ABOVE FINISHED GRADE (¢ OF OUTLET)
E.C.	EMPTY CONDUIT
UNO	UNLESS OTHERWISE NOTED
FBO	FURNISHED BY OTHERS
NL	NIGHT LIGHT
TYP	TYPICAL

- GENERAL LIGHTING NOTES:**
1. IF ELECTRICAL CONTRACTOR IS NOT CERTAIN OF MOUNTING HEIGHT OR LOCATION OF ANY LIGHTING FIXTURES OR SWITCHES HE IS TO VERIFY ITEMS WITH ELECTRICAL ENG., ARCHITECT OR OWNER PRIOR TO ROUGH-IN.
 2. NIGHT LIGHTS (NL), EMERGENCY & EXIT LIGHT FIXTURES SHALL BE CONNECTED TO UNSWITCHED LEG OF CIRCUIT.
 3. MC CABLE SHALL BE ALLOWED PER APPROVAL BY THE CITY PLAN CHECKER & INSPECTORS ROMAX IS NOT ALLOWED.
 4. EXTERIOR LIGHTING IS EXISTING AND SHALL REMAIN AS IS. NO ADDITIONAL LIGHTING IS REQUIRED UNDER THIS PERMIT.

GENERAL NOTE:
ELECTRICAL CONTRACTOR SHALL FIELD VERIFY SITE PRIOR TO BID TO CONFIRM ALL EXISTING ELECTRICAL EQUIPMENT TO BE REMOVED AND ABANDONED.

- KEY NOTE:**
ELECTRICAL CONTRACTOR TO PROVIDE & INSTALL DUEL LIGHT SWITCHES FOR TWO LEVEL LIGHTING INSIDE & OUTSIDE LAMPS TO BE CONTROLLED SEPARATELY. (TYP.)

GENERAL LIGHTING NOTE:
ELECTRICAL CONTRACTOR SHALL REMOVE ALL UNUSED EXISTING LIGHT SWITCHES & PROVIDE OR RELOCATE NEW AS REQUIRED IN NEW LOCATIONS. FIELD VERIFY REQUIREMENTS. (TYPICAL)



Lighting Floor Plan

Scale: 1/8"=1'-0"



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ARCHITECTURE & PLANNING

DRAWING: Demolition and Proposed Lighting Floor Plans

PROJECT: Brown & Brown TI
255 E. Sheldon St.
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E1.1

5. VERIFY THE EXACT LOCATIONS OF ALL TELEPHONE OUTLETS, DATA OUTLETS AND SPECIAL SYSTEMS OUTLETS WITH THE ARCHITECT/OWNER PRIOR TO ROUGH-IN.
6. ELECTRICAL CONTRACTOR SHALL PROVIDE COVER PLATES FOR ALL UNUSED OUTLETS, DATA OUTLETS AND SPECIAL SYSTEMS OUTLETS, FIELD VERIFY DEVICE NOT USED
7. ELECTRICAL CONTRACTOR SHALL VERIFY MECHANICAL EQUIPMENT REQUIREMENTS BREAKER, DISC. & WIRE SIZE WITH MANUFACTURER PRIOR TO ROUGH-IN.
8. MC CABLE SHALL BE ALLOWED PER APPROVAL BY THE CITY PLAN CHECKER, & INSPECTORS, ROMAX IS NOT ALLOWED

