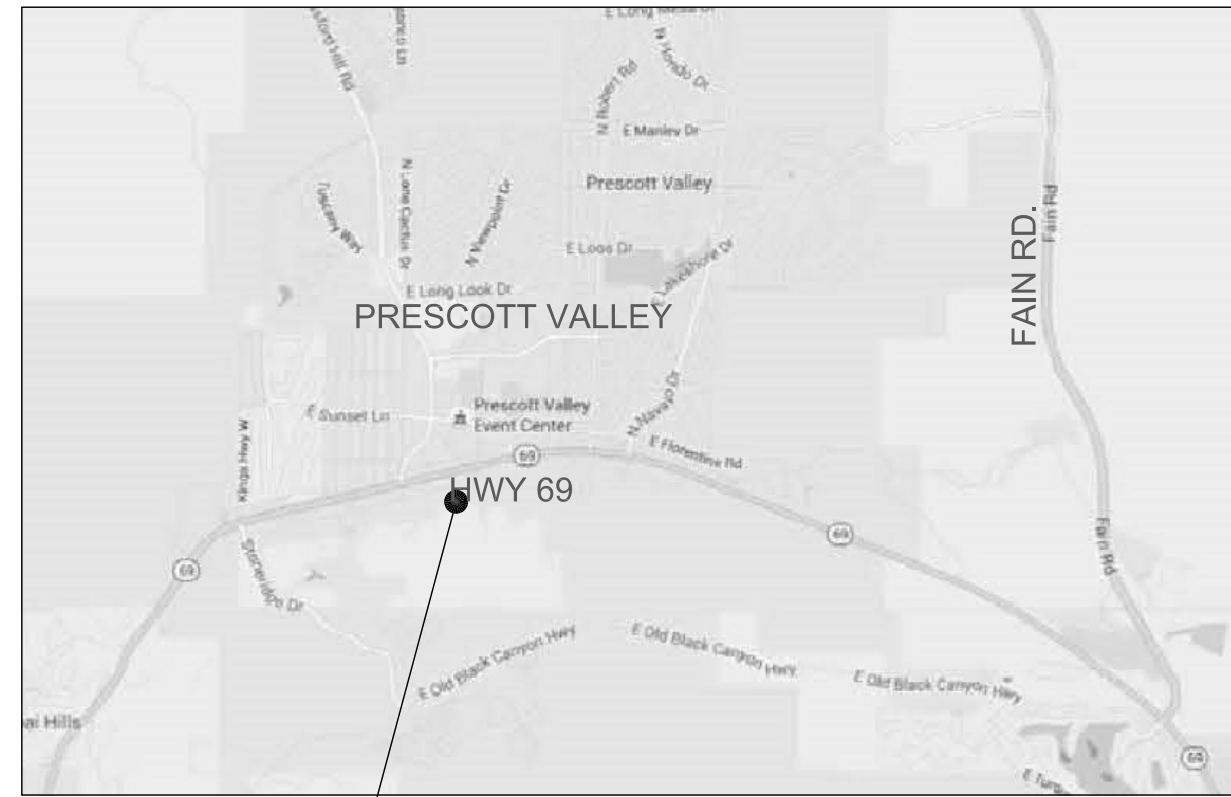


A New Warehouse for Builders FirstSource

PRESCOTT VALLEY, ARIZONA

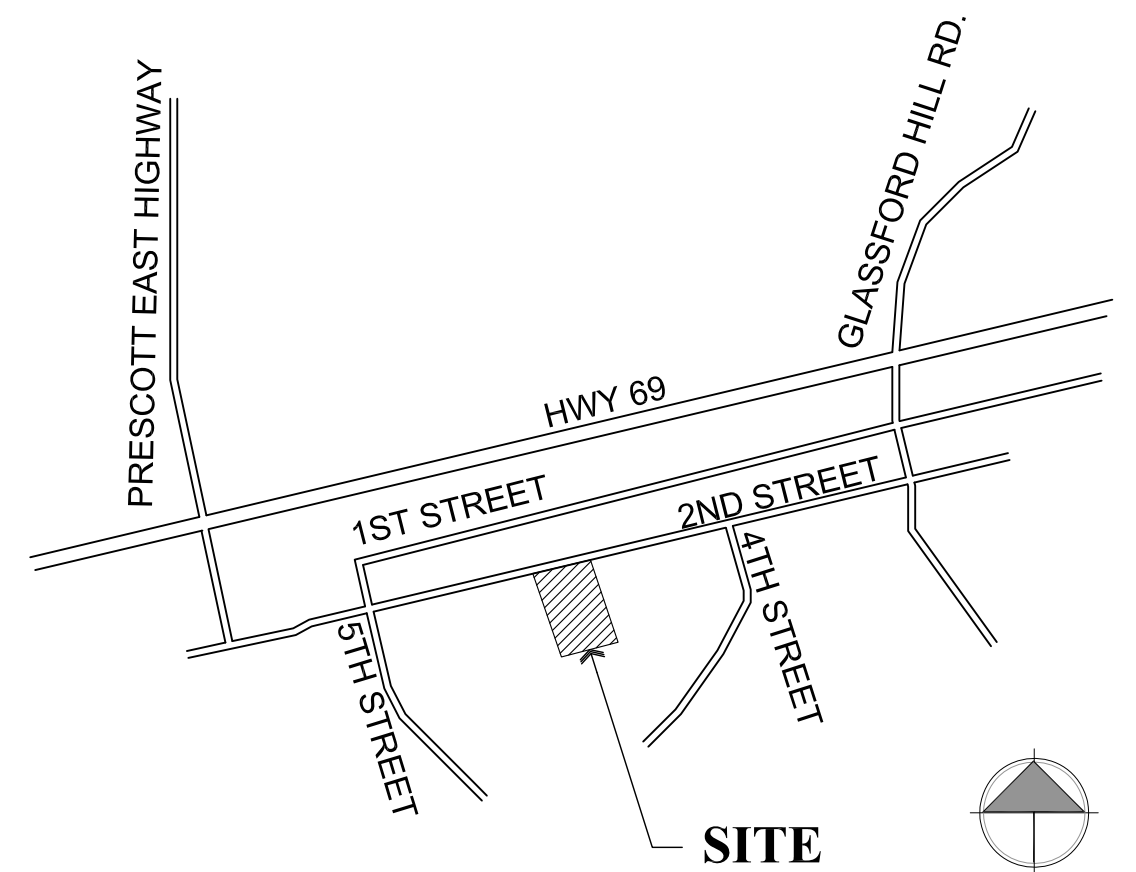
Area Map



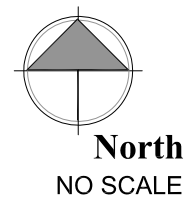
SITE



Vicinity Map



SITE



Project Information

CLIENT:	Builders FirstSource 6601 E. 2nd St. Prescott Valley, AZ 86314	PH: (928) 227-9111 CONTACT: Brad Olson brad.olson@probuild.com
PREPARED BY:	W. Alan Kenson & Assoc., P.C. P.O. Box 11593 Prescott, AZ 86304	PH: 928-443-5812 CONTACT: Alan Kenson WAKA@cableone.net
CONTRACTOR:	Kenson Construction Company Inc. 6135 Corsair Avenue Prescott, AZ 86301	PH: 928-443-5812 CONTACT: Alan Kenson WAKA@cableone.net
JOBSITE ADDRESS:	6601 E. 2nd Street Prescott Valley, AZ	
PARCEL NUMBER:	103-080-043F	
ZONING:	M1	
CONST. TYPE:	II-B	
OCCUPANCY:	S-1 & B Moderate Hazard Storage (Lumber) & Business	
PROPOSED BUILDING TOTAL UNDER ROOF:	4,950 S.F.	
BUILDING CODES:	2012 International Building Code 2012 International Plumbing Code 2012 International Mechanical Code 2012 International Fuel Gas Code 2012 International Fire Code 2011 National Electric Code 2006 International Energy Conservation Code 2010 ADA Standards for Accessible Design	
PARKING :	PARKING IS EXISTING AND SUFFICIENT	

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EXISTING DOOR	NORTH ARROW INDICATOR
PROPOSED DOOR	DETAIL DESIGNATOR
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GRID LINE DESIGNATOR	
REVISION DESIGNATOR	
ELEVATION DESIGNATOR	
DESCRIPTIVE NOTE DESIGNATOR	
ROOM NUMBER / FINISH DESIGNATOR	
DOOR NUMBER DESIGNATOR	
DOOR TYPE DESIGNATOR	
WINDOW TYPE DESIGNATOR	
WALL TYPE DESIGNATOR	

Project Description

Builders FirstSource intends to add a storage/warehouse building to their existing property which currently has covered storage areas and a sales / display / office building. The proposed building will be a steel structure with 4950 s.f. under roof. A loading ramp will be included on the south end of the building and 3 offices will be constructed on the north end.

Architect:

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ARCHITECTURE & PLANNING



REVISIONS	BY

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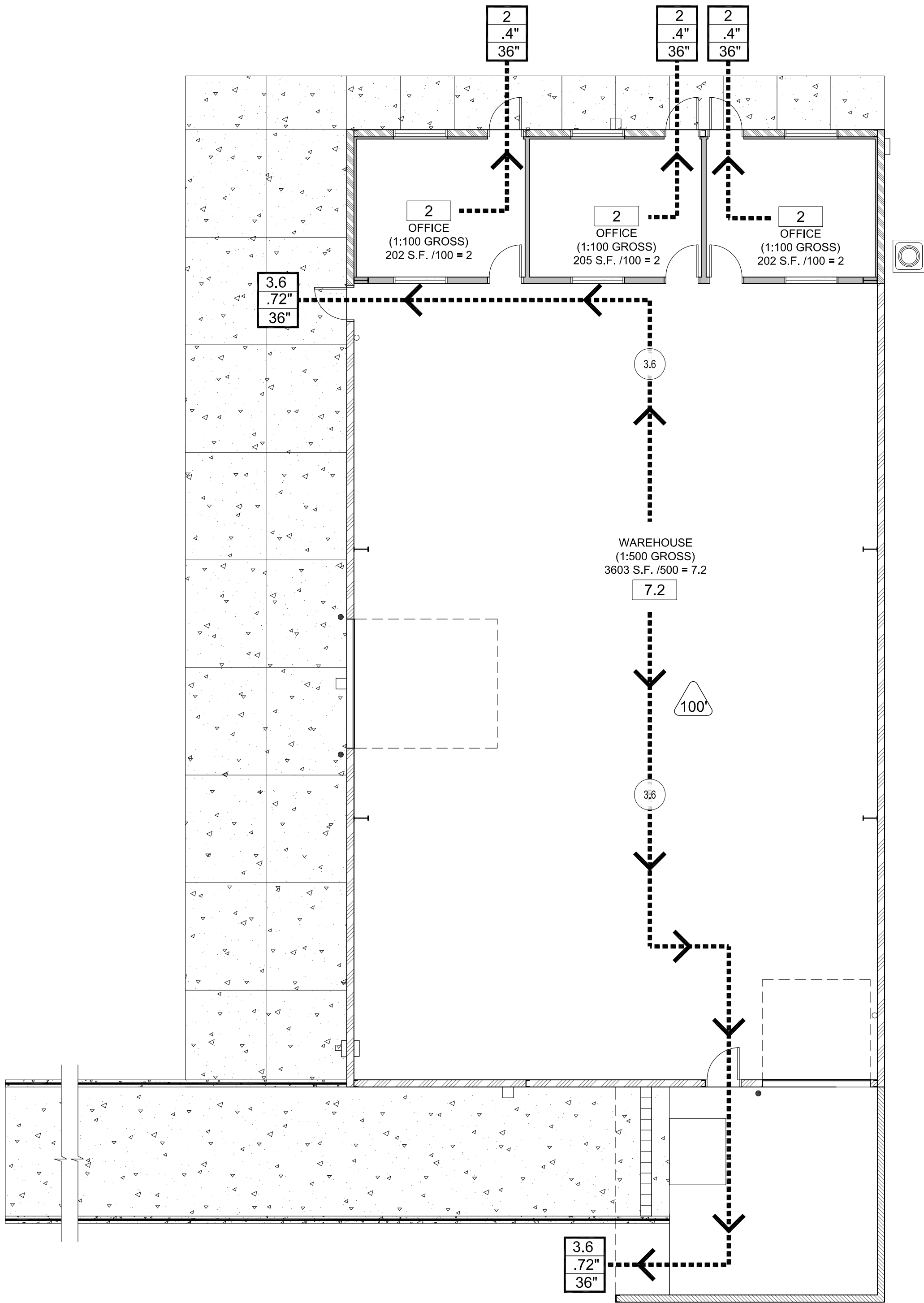
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ARCHITECTURE & PLANNING

DRAWING: Cover Sheet
PROJECT: Builders FirstSource
6601 E. 2nd St.
Prescott Valley, AZ 86314
APN: 103-08-043F

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE May 9, 2017
JOB NO. 699
SHEET

CS1

May 09, 2017 - 2:42pm





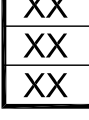



Occupancy / Egress Floor Plan

Scale: 1/8"=1'-0"



Egress Legend:

	EXIT ACCESS	
	ACCESSORY USE (NO OCCUPANCY)	
	ROOM OCCUPANCY LOAD	
	SUBTOTAL OCCUPANCY LOAD	
	OCCUPANCY TOTAL	
	REQUIRED EXIT WIDTH (FACTOR = 0.2)	
	PROVIDED EXIT WIDTH	
	WORST CASE TRAVEL DISTANCE	
FUNCTION OF SPACE		OCCUPANT LOAD FACTOR
WAREHOUSE		500 GROSS
OFFICE		100 GROSS

Occupant load

NOTE:
GROSS SQUARE FOOTAGE LISTED BELOW
DOES NOT INCLUDE ACCESSORY AREAS.

OFFICE AREA:	609	SQ. FT.	6	OCCUPANTS
WAREHOUSE:	3,603	SQ. FT.	7.2	OCCUPANTS
TOTAL:	4,212	SQ. FT.	13.2	OCCUPANTS

Plumbing

NOTE:
RESTROOMS ARE IN THE EXISTING SALES BUILDING AND
ARE ADEQUATE. THE DISTANCE FROM THE EXISTING
SALES BUILDING TO THE PROPOSED BUILDING IS
APPROXIMATELY 120 FEET. THERE WILL NOT BE ANY
ADDED EMPLOYEES IN THE NEW BUILDING.

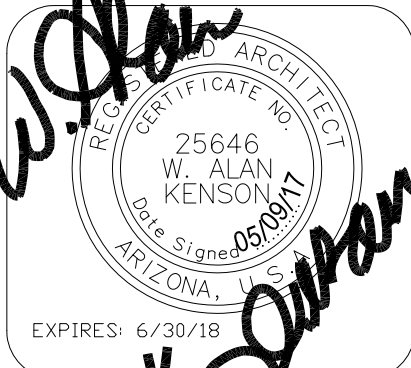
NOTE:
• PROVIDE A 6"x9" BLUE TACTILE 'EXIT' SIGN AS MANUFACTURED BY
'SIMPLY EXIT SIGNS (#SE-1980)' OR EQUAL COMPLYING WITH
ICCA117.1 AND IBC 1011.3 ADJACENT TO EACH DOOR TO AN EXIT
PASSAGEWAY AND THE EXIT DISCHARGE. SIGN SHALL BE MOUNTED
60" A.F.F. TO THE CENTER OF THE SIGN.

Accessibility Notes

- ACCESS TO THESE FACILITIES SHALL BE AT
PRIMARY ENTRANCES.
- THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED
A MAXIMUM CROSS SLOPE OF 2%.
- WALKING SURFACES GREATER THAN 2% SHALL BE
SLIP RESISTANT.
- PROVIDE A 44"x60" MINIMUM LANDING ON THE
STRIKE SIDE OF THE ENTRANCE DOOR WITH 44"
MINIMUM WIDTH IN THE DIRECTION OF TRAVEL.
- WALLS SHALL EXTEND 18" TO THE SIDE OF THE
STRIKE EDGE OF A DOOR OR GATE THAT SWINGS
TOWARDS THE OCCUPANT.
- RAMPS SHALL HAVE A NON-SLIP SURFACE.
- RAMPS SHALL BE A MINIMUM OF 36" WIDE.
- EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED
FOR A DOOR NOT LESS THAN 36" WIDE BY NOT
LESS THAN 6'-8" HIGH CAPABLE OF OPENING 90
DEGREES AND MOUNTED SO THE CLEAR WIDTH OF
THE EXIT WAY IS 32" MINIMUM.
- THRESHOLDS TO BE A MAXIMUM OF 1/4" ABOVE
ADJACENT FLOOR FINISH. ONE-HALF INCH
THRESHOLD MAY BE USED IF BEVELED PER A.D.A.
STANDARDS.
- MAXIMUM EFFORT TO OPERATE A DOOR SHALL
NOT EXCEED 5 POUNDS.
- THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT
AUTOMATIC AND SLIDING DOORS SHALL HAVE A
SMOOTH UNINTERRUPTED SURFACE.
- PROVIDE LEVER TYPE HARDWARE, PANIC BARS,
PUSH AND PULL ACTIVATING BARS, OR OTHER
HARDWARE DESIGNED TO PROVIDE PASSAGE
WITHOUT REQUIRING THE ABILITY TO GRASP THE
OPENING HARDWARE. (30" TO 44" A.F.F.)

REVISIONS	BY

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ARCHITECTURE & PLANNING

DRAWING: Code Summary / Egress Plan

PROJECT: Builders FirstSource
6601 E. 2nd St.
Prescott Valley, AZ 86314

APN: 103-08-043F

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE May 9, 2017
JOB NO. 699
SHEET

CS2

SECTION 103

GENERAL CONSTRUCTION NOTES

103.1 STANDARD DOCUMENTS –

ALL WORK TO COMPLETE THE CONSTRUCTION COVERED BY THESE PLANS SHALL BE IN ACCORDANCE WITH THE LATEST REVISION AND SUPPLEMENTS TO:

- THE TOWN DESIGN AND CONSTRUCTION STANDARDS (TDCS)
- SPECIFIC DEVELOPMENT AGREEMENTS
- TOWN CODE
- TOWN OF PRESCOTT VALLEY STANDARD DETAIL (PVSD)
- MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) STANDARDS AND
- OTHER STANDARDS LISTED IN THE TDCS.

103.2 LAWS & LICENSES –

THE CONTRACTOR MUST:

- COMPLY WITH ALL LOCAL, COUNTY, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THESE PLANS AND POSSESS A CURRENT TOWN OF PRESCOTT VALLEY BUSINESS LICENSE.

103.3 ENVIRONMENTAL CONTROLS –

THE FOLLOWING ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) REQUIREMENTS SHALL BE COMPLIED WITH:

- A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED UNDER THE ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (AZPDES) FOR ALL PROJECTS THAT INVOLVE DISTURBANCE OF AN AREA THAT IS MORE THAN 1 ACRE AND SHALL BE SUBMITTED TO THE TOWN FOR REVIEW. THIS SHOULD INCLUDE A LIST OF BEST MANAGEMENT PRACTICES (BMPs) AND SHOULD BE IN BOOK/BINDER FORM.
 - A NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO ADEQ THAT REFERENCES THE SWPPP.
 - A NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO ADEQ 60% OF DISTURBED LAND HAS BEEN SUCCESSFULLY RE-VEGETATED FOLLOWING PROJECT COMPLETION.
- THE TOWN SHALL RECEIVE NOTIFICATION AND COPIES WHEN THE NOI AND NOT HAVE BEEN SUBMITTED TO ADEQ.

103.4 SWPPP –

THE SWPPP REQUIRED PER SECTION 209 OF THE TDCS SHALL BE SUBMITTED BY THE OPERATOR OF THE CONSTRUCTION SITE ACCORDING TO GUIDELINES SET FORTH BY ADEQ. THE OPERATOR CAN BE THE OWNER, DEVELOPER, GENERAL CONTRACTOR OR INDIVIDUAL CONTRACTOR RESPONSIBLE FOR OPERATIONAL CONTROL.

103.5 PERMITS –

THE OWNER IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THESE PLANS. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY CONSTRUCTION EXTENDING BEYOND THE CONSTRUCTION SITE PROPERTY BOUNDARY. A TOWN RIGHT-OF-WAY (ROW) PERMIT WILL BE REQUIRED FOR ALL CONSTRUCTION WITHIN PUBLIC ROW.

103.6 QUANTITIES –

ANY QUANTITIES SHOWN ON PLANS ARE NOT VERIFIED BY THE TOWN.

103.7 PLAN REVISIONS –

ALL REVISIONS TO ORIGINAL PLANS MUST BE APPROVED BY THE ENGINEER OF RECORD (EOR) AND THE TOWN PRIOR TO CONSTRUCTION. DECISIONS REGARDING CHANGES WHICH CAN BE MADE IN THE FIELD OR AT THE DISCRETION OF THE EOR IN CONSULTATION WITH THE TOWN VERSUS THOSE WHICH REQUIRE FORMAL APPROVAL BY THE ENGINEER OF RECORD SHALL BE MADE DURING THE PRE-CONSTRUCTION CONFERENCE. ANY WORK NOT BASED ON APPROVED REVISIONS IS SUBJECT TO REMOVAL AND/OR REPLACEMENT AT NO EXPENSE TO THE TOWN.

103.8 TRAFFIC CONTROL PLAN –

CONTRACTOR IS RESPONSIBLE FOR SUBMITTING A TRAFFIC CONTROL PLAN TO THE TOWN AS NEEDED TO PERFORM CONSTRUCTION ACTIVITIES. SUBMITTAL SHALL BE MADE AT LEAST FIVE TOWN WORKING DAYS (EXCLUDING HOLIDAYS) PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONSTRUCTION CANNOT BEGIN UNTIL TOWN APPROVAL OF THE PLAN IS GRANTED. THE DYNAMIC NATURE OF TRAFFIC RELATED ACTIVITIES MAY REQUIRE MODIFICATION OF AN APPROVED PLAN BASED ON TOWN ANALYSIS. IF SO, THE CONTRACTOR WILL MODIFY THE TRAFFIC CONTROL PLAN AT NO EXPENSE TO THE TOWN.

103.9 DUST CONTROL –

THE CONTRACTOR SHALL KEEP SUITABLE EQUIPMENT ON HAND AT THE JOB SITE FOR MAINTENANCE AND DUST CONTROL. DUST AS DIRECTED BY THE APPROPRIATE AGENCIES, INCLUDING THE TOWN AT NO EXPENSE TO THE TOWN.

103.10 SITE CLEANLINESS –

THE CONTRACTOR SHALL KEEP ALL ROADWAY PAVEMENT, CURB AND GUTTER PAVEMENT, AND SIDEWALK PAVEMENT SURFACES FREE OF DEBRIS, CONSTRUCTION MATERIALS, ETC. DURING CONSTRUCTION AND AT COMPLETION OF CONSTRUCTION.

103.11 SITE SAFETY –

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION TRENCHES, HOLES, DEPRESSIONS, ETC. ARE NOT LEFT EXPOSED AT THE END OF A WORK SHIFT. TRAFFIC PLATES, OR OTHER SECURITY MEASURES, MUST BE UTILIZED TO ENSURE SAFE PASSAGE OVER OR AROUND ALL HAZARDS. THE CONTRACTOR SHALL BARRICADE THE CONSTRUCTION SITE WHEN THE SITE IS UNATTENDED.

103.12 EXCESS MATERIALS –

CONTRACTOR IS RESPONSIBLE FOR ALL PROJECT GENERATED EXCESS. THIS INCLUDES, BUT IS NOT LIMITED TO:

- THE REMOVAL, TRANSPORT, PERMITTING, DISPOSAL, ETC. OF ANY EXCESS VEGETATION, SPOILS, MATERIALS, DEBRIS, ETC. GENERATED BY A PROJECT AND ANY ASSOCIATED COSTS.
- SPOILS MUST ALSO BE CLEARED FROM ROADWAYS, PATHWAYS, OPEN GROUND, ETC. AT THE END OF A WORK SHIFT IF THEY INHIBIT CONVEYANCE OR IF SAFETY WITHIN THE PROJECT LIMITS WOULD BE COMPROMISED.
- EXPENSES RELATED TO EXCAVATION AND SPOIL SERVICES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

103.13 UTILITY CONFLICTS –

CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL UTILITIES AND UNDERGROUND CONFLICTS IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE (AAC) REGULATIONS. THIS INCLUDES:

- EXCAVATION OF EXISTING INFRASTRUCTURE TO ENSURE LOCATION, SIZE, FITTINGS, DEPTH, ALIGNMENT, ETC.
- EXCAVATION OF AREAS FOR NEW INFRASTRUCTURE TO ENSURE LOCATION, SIZE, FITTINGS, DEPTH, ALIGNMENT, ETC.
- EXCAVATION OF AREAS TO DETERMINE CONFLICTS WITH OTHER UTILITIES OR INFRASTRUCTURE, ETC.

103.14 BLUE STAKE –

BLUE STAKE LOCATING SERVICES MUST BE PERFORMED IN ADVANCE OF ANY CONSTRUCTION AND CONTRACTOR SHALL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO SUCH. THE CONTRACTOR SHALL CONTACT ARIZONA BLUE STAKE TWO WORKING DAYS (48 HOURS) PRIOR TO COMMENCEMENT OF CONSTRUCTION. CALL 1-800-STAKE-IT (1-800-782-5348). THE EOR AND/OR OWNER WILL NOT GUARANTEE ANY LOCATIONS AS SHOWN ON THESE PLANS OR THOSE OMITTED FROM SAME. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT FOR COORDINATION.

103.15 UTILITY ABANDONMENT –

ABANDONMENT IN PLACE OF PUBLIC UTILITY LINES SHALL BE AT THE DISCRETION OF THE TOWN AND SHALL BE IN ACCORDANCE PER APPLICABLE PVSD FOR ABANDONED UTILITIES.

103.16 ASBESTOS CEMENT PIPE –

MAINTENANCE, REPAIR OR REPLACEMENT OF EXISTING ASBESTOS CEMENT PIPE SHALL BE IN ACCORDANCE PER APPLICABLE PVSD.

103.17 SEWER INSPECTIONS –

FOR ANY CONSTRUCTION ADJACENT TO OR CROSSING EXISTING SEWER LINES, THE CONTRACTOR SHALL COMPLETE A PRE AND POST DVD VIDEO INSPECTION PER APPLICABLE PVSD. ADJACENT TO THIS SECTION IS A PRE-EXISTING SEWER LINE WITH A 2 FOOT HORIZONTAL SEPARATION FROM NEW CONSTRUCTION. THE VIDEO INSPECTION SHALL OCCUR FROM THE NEXT ADJACENT UPSTREAM AND DOWNSTREAM MANHOLES BEYOND ALL CONSTRUCTION ACTIVITY. IF EVIDENCE OF DEBRIS OR DAMAGE IS FOUND, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AND ADDITIONAL VIDEO INSPECTION, AS DETERMINED BY THE TOWN, SHALL BE COMPLETED.

103.18 UTILITY REPAIRS –

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING DAMAGE TO EXISTING UTILITIES AND/OR FACILITIES INCURRED DURING ANY CONSTRUCTION OPERATIONS.

103.19 INSPECTIONS –

THE CONTRACTOR SHALL NOTIFY THE EOR AND TOWN PUBLIC WORKS DEPARTMENT (928-759-3070) AT LEAST TWO WORKING DAYS (48 HOURS) IN ADVANCE OF CONSTRUCTION FOR INSPECTION.

103.20 UTILITY TESTING –

WATER, GRAVITY SEWER, FORCED SEWER, RECLAIMED WATER AND STORM LINE TESTING SHALL NOT BE COMPLETED UNLESS TESTING OCCURS AFTER ALL UNDERGROUND DISTURBANCES AND CONSTRUCTION IS COMPLETE. PRE-COMPLETION TESTS ARE ALLOWED, IF THE CONTRACTOR DESIRES SUCH ACTIVITY, BUT THE TOWN WILL NOT RECOGNIZE THE VALIDITY OF SAID TESTS.

103.21 MADE IN THE USA –

INFRASTRUCTURE ADDED TO THE TOWN SYSTEM SHALL BE MANUFACTURED, ASSEMBLED OR OTHERWISE PRODUCED IN THE UNITED STATES UNLESS OTHERWISE APPROVED BY THE TOWN.

103.22 UTILITY ADJUSTMENTS –

ALL FRAMES, COVERS, VALVE BOXES, AND MANHOLES INSIDE THE PAVED SURFACE SHALL BE ADJUSTED TO FINISHED GRADE UPON COMPLETION OF PAVING OR RELATED CONSTRUCTION. ALL FRAMES, COVERS, AND VALVE BOXES OUTSIDE A PAVED SURFACE SHALL BE ADJUSTED BETWEEN 6 AND 8 INCHES ABOVE FINISHED GRADE UPON COMPLETION OF RELATED CONSTRUCTION.

103.23 DEFECTIVE MATERIALS –

ALL WORK AND MATERIALS WHICH DO NOT CONFORM TO THE REQUIRED STANDARDS, CODES AND AGREEMENTS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT NO EXPENSE TO THE TOWN.

103.24 INSPECTIONS –

INSPECTION SHALL BE PERFORMED BY A QUALIFIED REPRESENTATIVE OF AN ENGINEER LICENSED IN THE STATE OF ARIZONA. THE DEGREE OF INSPECTION WILL BE DETERMINED AT THE PRE-CONSTRUCTION CONFERENCE. INSPECTION MUST MEET ALL REQUIREMENTS SET FORTH BY ADEQ, THE STATE OF ARIZONA, THE TOWN AND SHALL BE CERTIFIED BY THE EOR. THE TOWN WILL COMPLETE OVERSIGHT INSPECTION ONLY. THE EOR SHALL PROVIDE ALL CERTIFICATIONS AND OTHER DOCUMENTATION TO THE TOWN PRIOR TO ACCEPTANCE BY THE TOWN.

103.25 PLAN EXPIRATION –

ALL PLANS SIGNED/APPROVED BY THE TOWN ARE NULL AND VOID ONE YEAR FROM DATE OF SIGNATURE IF CONSTRUCTION HAS NOT STARTED UNLESS OTHERWISE APPROVED BY THE TOWN.

103.27 CONSTRUCTION STAKING –

THE CONTRACTOR SHALL MAKE NO CLAIM AGAINST THE OWNER, THE EOR OR SURVEYOR REGARDING THE INACCURACY OF CONSTRUCTION STAKES SET FORTH BY THE EOR OR SURVEYOR, UNLESS ALL SURVEY STAKES SET BY THE EOR OR SURVEYOR ARE MAINTAINED INTACT AND CAN BE VERIFIED AS TO THEIR ORIGIN. IF, IN THE OPINION OF THE EOR, THE STAKES ARE NOT MAINTAINED INTACT AND CANNOT BE VERIFIED AS TO THEIR ORIGIN, ANY REMEDIAL WORK REQUIRED TO CORRECT ANY ITEM SHALL BE PERFORMED AT THE SOLE EXPENSE OF THE RESPONSIBLE CONTRACTOR OR SUBCONTRACTOR.

103.26 WARRANTY –

THE CONTRACTOR AND/OR DEVELOPER SHALL PROVIDE A WARRANTY FOR ANY PUBLIC PROJECT OR ANY PROJECT THAT WILL BE GIVEN TO THE PUBLIC PER AGREEMENT(S). THE TOWN'S DEFINITION OF A WARRANTY INCLUDES ANY WORKMANSHIP, LABOR, MATERIALS, EQUIPMENT, SALES TAX, ETC. REQUIRED TO RESTORE A PROJECT TO ACCEPTANCE CRITERIA AS DEFINED BY THE PLAN. THE WARRANTY PERIOD LASTS FOR A MINIMUM OF TWO (2) YEARS FROM THE DATE OF TOWN ACCEPTANCE OF PROJECT COMPLETION. ALL WARRANTY WORK SHALL ALSO CONFORM TO ALL PORTIONS OF THE APPLICABLE TDCS.

103.27 PROJECT QUANTITIES –

QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY BE SUBJECT TO ERRORS AND OMISSIONS. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THESE PLANS. IF ANY DISCREPANCIES IN QUANTITIES OR SITE CONDITIONS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE EOR. THE TOWN DOES NOT WARRANT ANY QUANTITIES SHOWN ON THE PLANS.

103.28 NOTIFICATIONS –

CONTRACTOR SHALL NOTIFY THE EOR AND/OR SURVEYOR TWO WORKING DAYS (48 HOURS) IN ADVANCE OF ANY CONSTRUCTION TO SCHEDULE STAKING.

103.29 CONSTRUCTION SCHEDULE –

THE CONTRACTOR SHALL PROVIDE SUFFICIENT PERSONNEL AND EQUIPMENT ON THE JOB AT ALL TIMES DURING CONSTRUCTION TO COMPLY WITH THE CONSTRUCTION SCHEDULE, AND SPECIFICATIONS TO COMPLETE WORK.

103.30 CONSTRUCTION CONTRACT –

NOTHING CONTAINED IN THE CONSTRUCTION CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE, ANY CONTRACTUAL RELATIONSHIP BETWEEN THE EOR AND THE CONTRACTOR OR ANY SUBCONTRACTOR.

103.31 MEANS AND METHODS –

NEITHER THE TOWN NOR THE EOR WILL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK. NEITHER THE TOWN NOR THE EOR WILL BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

103.32 THE EOR WILL NOT GUARANTEE ANY ELEVATIONS OR LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS. FIELD VERIFICATION BY THE CONTRACTOR WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED AS DEEMED NECESSARY BY THE CONTRACTOR. DAMAGE RESULTING FROM FAILURE TO ADEQUATELY LOCATE UTILITIES, AND TAKE NECESSARY PRECAUTIONS TO PROTECT THEM, WILL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT NO EXPENSE TO THE TOWN OF PRESCOTT VALLEY.

103.33 DEFICIENCIES OR DISCREPANCIES –

FAILURE OF THE TOWN TO DETECT DEFICIENCIES OR DISCREPANCIES IN THE DESIGN OR CONSTRUCTION OF THESE PLANS SHALL IN NO WAY RELIEVE THE DEVELOPER, EOR OR THE CONTRACTOR FROM THEIR RESPONSIBILITY TO CONFORM TO ALL TOWN REQUIREMENTS.

103.34 PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS, EARTHWORK QUANTITIES, REQUIREMENTS OF WORK AND DEFICIENCIES IN EARTHWORK QUANTITIES SHOULD THEY EXIST. NO CLAIM SHALL BE MADE AGAINST THE TOWN OR EOR FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.

103.35 THESE PLANS ARE SUBJECT TO INTERPRETATION OF INTENT BY THE EOR. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE EOR FOR CLARIFICATION IN CONCORDANCE WITH THE TDCS.

103.36 CONSTRUCTION WATER –

THE CONTRACTOR MUST REQUEST A HYDRANT METER FROM THE TOWN FOR SITE CONSTRUCTION, FILLING AND TESTING OF WATERLINES. THE METER SHOULD BE ORDERED 2 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. THE UNWILFUL REMOVAL OF WATER FROM A FIRE HYDRANT OR ANY OTHER SOURCE IS A VIOLATION OF THE MUNICIPAL CODE, PUNISHABLE BY FINE AND/OR IMPRISONMENT.

103.37 AS-BUILT –

"AS-BUILT" DRAWINGS, CERTIFIED BY THE EOR, SHALL BE SUBMITTED AND APPROVED PRIOR TO ISSUANCE OF A BUILDING "CERTIFICATE OF OCCUPANCY".

103.38 LANDSCAPE –

ALL EXISTING LANDSCAPE INCLUDING TREES, SHRUBS AND IRRIGATION SYSTEMS THAT ARE DESIGNATED TO REMAIN OR ARE NOT PART OF THE PROJECT SHALL BE MAINTAINED DURING CONSTRUCTION, WILL BE REPLACED IN LIKE KIND AT THE EXPENSE OF THE CONTRACTOR.

103.39 SWPPP –

THE PLANS SHALL BE AMENDED AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO RESOLVE ANY PROBLEM AREAS, WHICH BECOME EVIDENT DURING CONSTRUCTION. ROUTINE INSPECTIONS AND/OR PERIODS OF RAINFALL, IF IT IS DETERMINED THAT CURRENT CONTROLS ARE NOT EFFECTIVE AT MINIMIZING POLLUTANT DISCHARGES FROM THE SITE, IMMEDIATE EFFORTS SHALL BE MADE TO CORRECT THE PROBLEM WITHIN 72 HOURS AND/OR PRIOR TO THE NEXT RAIN EVENT. THE AMENDED PLAN SHALL BE MAINTAINED ON-SITE.

103.40 PORTABLE TOILETS –

NO CONSTRUCTION MATERIAL, INCLUDING PORTABLE TOILETS SHALL BE STORED ON ANY PORTION OF ANY STREET, SIDEWALK, RIGHT-OF-WAY OR EASEMENT, OR WITHIN 50' OF ANY DRAINAGE WAY.

103.41 TRASH AND DEBRIS –

THE SITE SHALL, AT ALL TIMES REMAIN FREE OF LOOSE TRASH AND DEBRIS. APPROPRIATELY SIZED COVERED WASTE RECEPTACLES SHALL BE PROVIDED ONSITE AND STORED A MINIMUM OF 50' FROM ANY DRAINAGE WAY OR DRAINAGE INLET.

SECTION 201

GRADING & DRAINAGE NOTES

201.1 PERMITS –

THE FOLLOWING APPLY:

- AN ON-SITE GRADING PERMIT IS REQUIRED.
- A SEPARATE PERMIT IS REQUIRED FOR ANY OFF SITE GRADING.

201.2 INSPECTIONS –

PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING, VISUAL AND/OR TV INSPECTION OF STORM DRAINAGE INFRASTRUCTURE PER APPLICABLE PVSD. THE TOWN AND EOR SHALL RECEIVE COPIES OF APPLICABLE DOCUMENTATION FOR REVIEW. THE EOR SHALL:

- DETERMINE IF THE REQUIRED PROCEDURES AND SUBSEQUENT DOCUMENTATION WERE COMPLIED WITH
- REVIEW ALL DOCUMENTATION AND FINDINGS FOR COMPLIANCE WITH TOWN STANDARDS
- SUBMIT A REPORT TO THE TOWN WITH REGARD TO DISPOSITION.

THE TOWN WILL REVIEW THE EOR SUPPLIED REPORT TO DETERMINE IF THE PRODUCT IS ACCEPTABLE PRIOR TO PROJECT FINAL ACCEPTANCE.

201.3 ON SITE MATERIALS –

THE GRADING CONTRACTOR SHALL DESIGNATE A LOCATION FOR WASTING SPOIL MATERIALS AND A LETTER FROM THE PROPERTY OWNER GIVING PERMISSION FOR SAID DISPOSAL PRIOR TO STARTING ON-SITE CONSTRUCTION.

201.4 EASEMENTS –

NO STRUCTURE OF ANY KIND SHALL BE CONSTRUCTED AND/OR ANY VEGETATION PLANTED OR ALLOWED TO GROW WITHIN, ON OR OVER ANY DRAINAGE EASEMENT WHICH WOULD OBSTRUCT OR DIVERT THE FLOW OF STORM WATER.

SECTION 201

TRANSPORTATION NOTES

201.1 SWEEPING –

NO PROJECT WILL BE CONSIDERED READY FOR FINAL ACCEPTANCE UNTIL ALL CURB, ROADWAYS, MEDIANS, SIDEWALKS AND ANY OTHER IMPACTED ROW AREAS HAVE BEEN SWEEP CLEAN OF ALL DIRT AND DEBRIS.

301.2 SUBGRADE INSPECTION –

BASE COURSE SHALL NOT BE PLACED ON SUBGRADE UNTIL SUBGRADE REQUIREMENTS HAVE BEEN INSPECTED AND ACCEPTED BY THE EOR.

301.3 UTILITY WORK –

NO ABC PLACEMENT OR PAVING CONSTRUCTION SHALL BE STARTED UNTIL ALL UNDERGROUND UTILITIES WORK WITHIN THE ROADWAY PRISM ARE COMPLETED AND TESTED.

301.4 ASPHALT CONCRETE –

ALL AC SHALL BE C-3/4 "SMOOTH MIX" AS PER APPLICABLE MAG SPECIFICATIONS, UNLESS ANOTHER SPECIFICATION IS APPROVED BY THE TOWN. MIX DESIGN SHALL BE SUBMITTED PRIOR TO START OF CONSTRUCTION.

301.5 CHIP SEAL –

- A. PAVEMENT SHALL INCLUDE A CHIP SEAL COAT INSTALLED PER MAG AND THE FOLLOWING:
 - FOR ARTERIAL AND COLLECTOR STREETS, CHIP SEAL SHALL BE "HIGH VOLUME SINGLE CHIP SEAL" USING AC15-5TR OR APPROVED EQUAL SPREAD AT 0.50 GAL/SY WITH ½ INCH HIGH VOLUME CHIP AT 32 LBS/SY.
 - FOR LOCAL, COMMERCIAL AND RESIDENTIAL STREETS, CHIP SEAL SHALL BE "LOW VOLUME SINGLE CHIP SEAL" USING CRS-2P SPREAD AT 0.40 GAL/SY WITH 3/8 INCH LOW VOLUME CHIP AT 25 LBS/SY.
- B. ALL STREETS SHALL BE SWEEP THE SAME DAY AS APPLICATION. CURBED STREETS REQUIRE A PICKUP AND TRUCK TO REMOVE EXCESS CHIPS. USE OF A KICK BROOM IS ACCEPTABLE ON STREETS WITHOUT CURBS UPON APPROVAL OF THE TOWN.
- C. ALL SURVEY MONUMENTS, BOXES, MANHOLES, FRAMES, VALVE LIDS, ETC. SHALL BE PROTECTED FROM ALL SEVERE WEATHER CONDITIONS AND SHALL BE ADJUSTED TO FINISHED ASPHALT OR CURB GRADES AFTER PLACEMENT OF SURFACE COURSE AND PRIOR TO CHIP SEAL BY THE CONTRACTOR PER PERIOD LASTS FOR A MINIMUM OF TWO (2) YEARS FROM THE DATE OF TOWN ACCEPTANCE OF PROJECT COMPLETION. ALL WARRANTY WORK SHALL ALSO CONFORM TO ALL PORTIONS OF THE APPLICABLE TDCS.
- D. NO CHIP SEAL CONSTRUCTION WILL BE ALLOWED BETWEEN SEPTEMBER 1ST AND MAY 30TH.
- E. CHIP SEAL SHALL BE PLACED ONLY WHEN THE ROADWAY SURFACE IS DRY AND THERE IS NO RISK OF RAIN. THE AMBIENT TEMPERATURE MUST BE 70 DEGREES F. AND RISING BEFORE CHIP SEAL OPERATION BEGINS.
- F. NO CHIP SEAL OPERATION SHALL BE CONSIDERED COMPLETE OR ACCEPTABLE FOR PAYMENT UNTIL INSPECTED AND ACCEPTED BY THE TOWN.

301.6 TRAFFIC CONTROL –

A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE TOWN'S PUBLIC WORKS OPERATIONS MANAGER. TRAFFIC CONTROL SHALL MEET APPROVAL PRIOR TO CONSTRUCTION.

SECTION 601

WATER CONSTRUCTION NOTES

601.1 ADEQ REQUIREMENTS –

ADEQ REQUIREMENTS MUST BE COMPLIED WITH FOR ALL ASPECTS OF CONSTRUCTION AS MINIMUM STANDARDS. TOWN STANDARDS MAY IMPOSE ADDITIONAL OR MORE STRICT REQUIREMENTS. A SPECIFIC NOTE REFERENCING AAC R18-4-502, LATEST REVISION, MUST BE ON PLANS THAT WILL BE APPROVED BY ADEQ OR THEIR DELEGATED REVIEWER (YAVAPAI COUNTY).

PER AAC R18-5-508, ALL QUALITY CONTROL TESTING SHALL BE PERFORMED BY THE CONTRACTOR AND OBSERVED BY THE ENGINEER OF RECORD INCLUDING, BUT NOT LIMITED TO MICROBIOLOGICAL, PRESSURE AND DISINFECTION TESTING.

601.2 CLEARANCE –

UTILITY CLEARANCES SHALL BE MAINTAINED IN ACCORDANCE PER APPLICABLE MAG/PVSD.

601.3 SEPARATION –

WATER AND SANITARY SEWER SEPARATION / PROTECTION SHALL BE IN ACCORDANCE PER APPLICABLE MAG/PVSD. CONCRETE ENCASEMENT OF WATER LINES IS NOT ALLOWED UNLESS APPROVED BY THE TOWN.

601.4 CONNECTIONS –

THE CONTRACTOR SHALL BE REQUIRED TO INSTALL A CONNECTION AT NIGHT BETWEEN 10 PM AND 5 AM MONDAY THRU THURSDAY, EXCLUDING HOLIDAYS, FOR ANY NEW WATERLINE THAT WILL AFFECT EXISTING SERVICE SUFFICIENT TO WARRANT SAME IN THE OPINION OF THE TOWN. NO SERVICE INTERRUPTION SHALL LAST LONGER THAN 4 HOURS WITHOUT APPROVAL OF THE TOWN AND A MINIMUM OF 48 HOURS NOTICE IS REQUIRED PRIOR TO ANY SERVICE INTERRUPTION. SHUTDOWNS SHALL BE COORDINATED WITH THE TOWN AND ITS WATER OPERATIONS CONTRACTOR.

601.5 ANSI / NSF –

ALL COMPONENTS THAT COME INTO CONTACT WITH POTABLE WATER WILL MEET ANSI / NATIONAL SANITATION FOUNDATION (NSF) STANDARD 61 AND BEAR THE ANSI / NSF STANDARD 61 SEAL AS APPROVED BY AAG.

601.6 DISINFECTION –

- DISINFECTION AND TESTING OF COMPONENTS NOT APPLICABLE TO ADEQ ENGINEERING BULLETIN NO. 8 SHALL BE DISINFECTED AND FLUSHED AS FOLLOWS:
 1. SWAB TESTING OF ALL COMPONENTS IS REQUIRED: A 25 PARTS PER MILLION (PPM) SODIUM HYPOCHLORITE FREE CHLORINE SOLUTION MUST BE APPLIED TO ALL INTERIOR SURFACES INCLUDING VALVES, FLEX COUPLINGS, PIPE SEGMENTS OR OTHER INFRASTRUCTURE JUST PRIOR TO THEIR INSTALLATION.
 2. SYSTEM FLUSHING SHALL BE CONDUCTED FROM THE NEAREST FIRE HYDRANT, BOA, OR SIMILAR APPURTENANCE.
 3. DISCHARGE IN ACCORDANCE WITH AZDES REGULATIONS

601.7 PRESSURE AND LEAKAGE TEST –

WATER MAINS AND APPURTENANCES SHALL BE SUBJECT TO A PRESSURE AND LEAKAGE TEST IN ACCORDANCE WITH MAG AND AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS. HOWEVER, TESTING PRESSURE SHALL BE A MINIMUM OF 200 PSI OR 150% OF THE WORKING PRESSURE IN THE PIPE WHICHEVER IS GREATER. THE WORKING PRESSURE WILL BE BASED ON THE LOWEST ELEVATION/HIGHEST PRESSURE POINT IN THE MAIN, WHICHEVER IS GREATER.

601.8 TRACE WIRE –

TRACE WIRE, CONTINUITY TEST, AND DETECTABLE TAPE REQUIRED PER APPLICABLE PVSD.

601.9 ASBESTOS CEMENT PIPE –

REMOVAL OR REPLACEMENT OF EXISTING ASBESTOS CEMENT PIPE (ACP) SHALL BE IN ACCORDANCE PER APPLICABLE PVSD.

601.10 HOT TAP –

HOT TAPS ARE AN EXCLUSIVE FUNCTION OF THE TOWN AND PERFORMED BY THE TOWN'S CONTRACT OPERATIONS COMPANY. CONTRACTOR IS RESPONSIBLE FOR TRENCHING / CLEARANCE PER APPLICABLE PVSD.

601.11 VALVE OPERATION –

EXISTING SYSTEM VALVES TO BE OPERATED BY TOWN AUTHORIZED PERSONNEL ONLY.

601.12 WASH METER INSTALLATION –

A WATER METER SHALL BE APPROVED FOR INSTALLATION ONLY AFTER THE FOLLOWING CONDITIONS HAVE BEEN MET:

1. NEW SUBDIVISIONS: ATO OR ADEQ DOCUMENTATION SUBMITTED TO THE TOWN FROM THE EOR THAT STATES THAT AN ATO IS NOT REQUIRED.
2. NEW SUBDIVISIONS: WATER INFRASTRUCTURE MUST HAVE BEEN INSPECTED AND APPROVED BY THE EOR AND TOWN.
3. WATER METER AND WATER SERVICE REQUEST FEES MUST BE PAID.
4. WATER METER BOXES AND LINE SETTERS MUST RECEIVE A BUILDING INSPECTION APPROVAL THROUGH THE BUILDING PERMIT PROCESS. THE WATER SERVICE LINE BETWEEN THE METER AND THE STRUCTURE MUST EXTEND A MINIMUM OF 5 FEET AWAY FROM THE METER IN ORDER TO RECEIVE THE INSPECTION.
5. ONCE THE WATER METER HAS BEEN SET, NO DISTURBANCE OF THE METER, LINE SETTER, BOX OR GROUND WITHIN 5 FEET SHALL OCCUR. ANY DISTURBANCE TO THE METER, METER BOX OR LINE SETTER WILL RESULT IN DAMAGE AND/OR TAMPERING FEE PER TOWN CUSTOMER ACCOUNT REGULATIONS.
6. APPROVED BACKFLOW PROTECTION HAS BEEN INSTALLED IF REQUIRED PER TOWN CODE AND APPLICABLE PVSD.

601.13 WATERLINE SERVICES –

WATERLINE SERVICES UP TO AND INCLUDING THE METER, METER BOX AND THE TRANSITION FITTING ON THE DISCHARGE/CUSTOMER SIDE OF THE SETTER (VALVE/STOCK) ARE PUBLIC FACILITIES AND MUST BE PLACED IN EASEMENT OR ROW PER APPLICABLE PVSD.

601.14 PRESSURE REDUCING VALVE –

A PRESSURE REDUCING VALVE / PRESSURE REGULATOR IS REQUIRED FOR ALL DOMESTIC SERVICES IF PRESSURE IN THE PUBLIC MAIN IS 80 PSI OR HIGHER. VALVES / REGULATORS ARE CONSIDERED AS PRIVATE PROPERTY AND SHALL BE MAINTAINED BY THE OWNER. IT SHALL BE LOCATED ON PRIVATE PROPERTY, OUT OF EASEMENT, DOWNSTREAM OF THE METER AND PRIOR TO BRANCHING / ENTRY TO THE PROPERTY'S PLUMBING SUPPLY.

601.15 SEPARATE TAP –

DOMESTIC AND FIRE LINES TO A STRUCTURE MUST BE SEPARATELY TAPPED TO THE WATER DISTRIBUTION MAIN.

601.16 BACKFLOW –

BACKFLOW PREVENTION REQUIREMENTS ARE NOTED PER AAC, TOWN CODE AND APPLICABLE PVSD.

601.17 POLYWRAP –

INSTALL POLYWRAP DIP PIPING AND APPURTENANCES PER MAG STANDARDS.

SECTION 630

SEWER CONSTRUCTION NOTES

631.1 ADEQ –

ADEQ REQUIREMENTS MUST BE COMPLIED WITH. A SPECIFIC NOTE REFERENCING AAC R18-4-502, LATEST REVISION, MUST BE ON PLANS THAT WILL BE APPROVED BY ADEQ OR THEIR DELEGATED REVIEWER (YAVAPAI COUNTY).

631.2 CLEARANCE –

UTILITY CLEARANCES SHALL BE MAINTAINED IN ACCORDANCE PER APPLICABLE PVSD.

631.3 SEPARATION –

WATER, RECLAIMED WATER, AND SANITARY SEWER SEPARATION / PROTECTION SHALL BE IN ACCORDANCE PER APPLICABLE PVSD.

631.4 CROSSINGS –

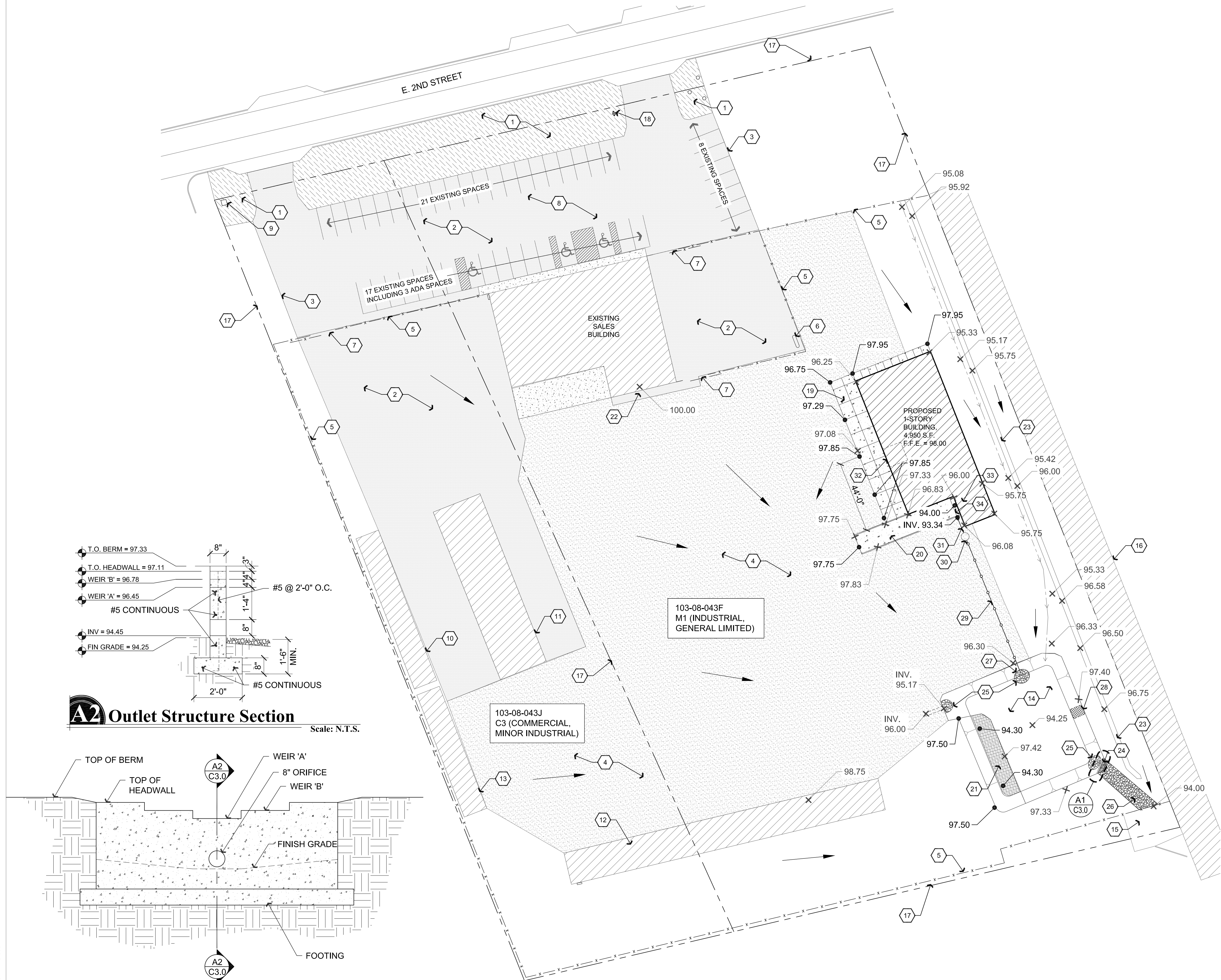
AT LOCATIONS WHERE WATER/SEWER/RECLAIMED UTILITIES CROSS, REFERENCE AAC AND ANY APPLICABLE PVSDS FOR GUIDANCE.

631.5 AIR TESTS –

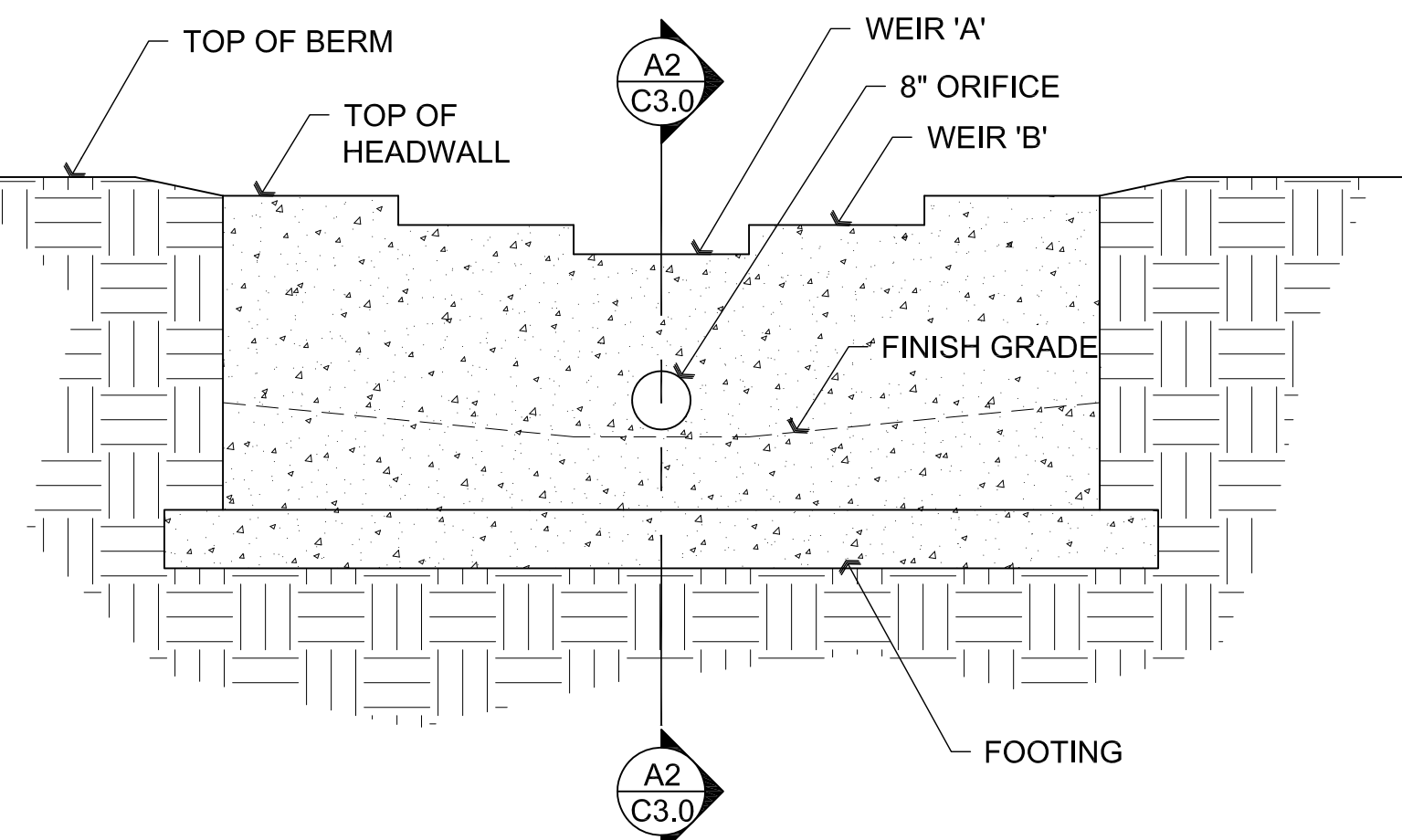
SEWER LINE LOW PRESSURE AIR TESTS SHALL BE DONE ON ALL LINES PURSUANT TO AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) STANDARDS.

631.6 VACUUM TESTS –

May 09, 2017 - 10:59am



A2 Outlet Structure Section
Scale: N.T.S.



A1 Detention Basin Outlet Structure
Scale: N.T.S.

B1 Grading and Drainage Plan
Scale: 1"=30'-0"

Descriptive Keynotes

- EXISTING LANDSCAPING.
- EXISTING ASPHALTIC PAVEMENT.
- EDGE OF PAVEMENT.
- EXISTING ABC.
- EXISTING CHAIN LINK FENCE.
- EXISTING PROPANE TANK.
- EXISTING SLIDING GATE.
- EXISTING PARKING LOT WITH 43 PARKING SPACES AND 3 HANDICAP ACCESSIBLE SPACES.
- EXISTING TRANSFORMER.
- EXISTING 1,500 S.F. 1-STORY, COVERED STORAGE AREA.
- EXISTING 3,465 S.F. 1-STORY COVERED STORAGE AREA.
- EXISTING 4,005 S.F. 1-STORY, COVERED STORAGE AREA.
- EXISTING 1222 S.F. 1-STORY, COVERED STORAGE AREA..
- EXISTING DETENTION BASIN.
- EXISTING RIP RAP W/ DRAINAGE CHANNEL
- EXISTING BUILDING.
- PROPERTY LINE.
- EXISTING FIRE HYDRANT.
- PROPOSE CONCRETE SLAB.
- PROPOSED CONCRETE TRUCK RAMP, MAXIMUM SLOPE 6%.
- EXPAND EXISTING DRAINAGE DETENTION BASIN TO SIZE SHOWN, ADDING AN ADDITIONAL ±600 S.F. MATCH EXISTING DEPTH.
- PROJECT BENCHMARK IS FINISH FLOOR OF EXISTING SALES BUILDING.
- TOP OF BERM.
- REMOVE PORTION OF EXISTING BERM AS REQUIRED.
- PROVIDE 40 S.F. RIP RAP SPLASH PAD. d50 = 4"/DEPTH = 8" OVER FILTER FABRIC.
- PROVIDE RIP RAP DRAINAGE SWALE. d50 = 4"/DEPTH = 8" OVER FILTER FABRIC.
- INVERT OF FORCE MAIN AT EMBANKMENT TO BE ±95.00.
- REPAIR PORTION OF EXISTING BERM TO MATCH ADJACENT BERM.
- 2" SCHEDULE 40 PVC FORCE MAIN, REFER TO PLUMBING PLANS.
- BELOW GRADE STORM WATER EJECTION PUMP WITH TRAFFIC RATED COVER FOR TRUCK RAMP DRAIN, REFER TO PLUMBING PLANS.
- 4" SDR 35 DRAIN PIPE, REFER TO PLUMBING PLANS.
- OVERHEAD DOOR, REFER TO ARCHITECTURAL PLANS.
- LOADING DOCK, REFER TO ARCHITECTURAL PLANS.
- TRUCK RAMP TROUGH WITH METAL GRATE AT LOADING DOCK, REFER TO PLUMBING PLANS.

Legend

- TYPICALLY INDICATES EXISTING ASPHALTIC PAVEMENT
- TYPICALLY INDICATES EXISTING LANDSCAPED AREA
- TYPICALLY INDICATES PROPOSED ADDITIONAL DETENTION AREA
- TYPICALLY INDICATES EXISTING CONCRETE
- TYPICALLY INDICATES PROPOSED CONCRETE
- TYPICALLY INDICATES PROPOSED RIP RAP
- TYPICALLY INDICATES EXISTING BUILDING
- TYPICALLY INDICATES EXISTING ABC
- TYPICALLY INDICATES EXISTING SPOT ELEVATION
- TYPICALLY INDICATES PROPOSED SPOT ELEVATION
- TYPICALLY INDICATES DRAINAGE FLOW DIRECTION

Detention Basin Calculation

69,404 SF EXISTING IMPERVIOUS AREA
5,040 SF EXISTING DETENTION AREA
7,310 SF NEW IMPERVIOUS AREA
76,714 SF TOTAL NEW AND EXISTING IMPERVIOUS AREA

$$\frac{69,404 \text{ SF}}{76,714 \text{ SF}} = \frac{5,040 \text{ SF}}{X}$$

X = 5,571 SF (TOTAL NEW DETENTION REQUIRED)
5,571 SF - 5,040 SF = 531 SF (ADDITIONAL AREA NEEDED)

TOTAL ADDED: 600 S.F.

REVISIONS BY

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Professional Engineer
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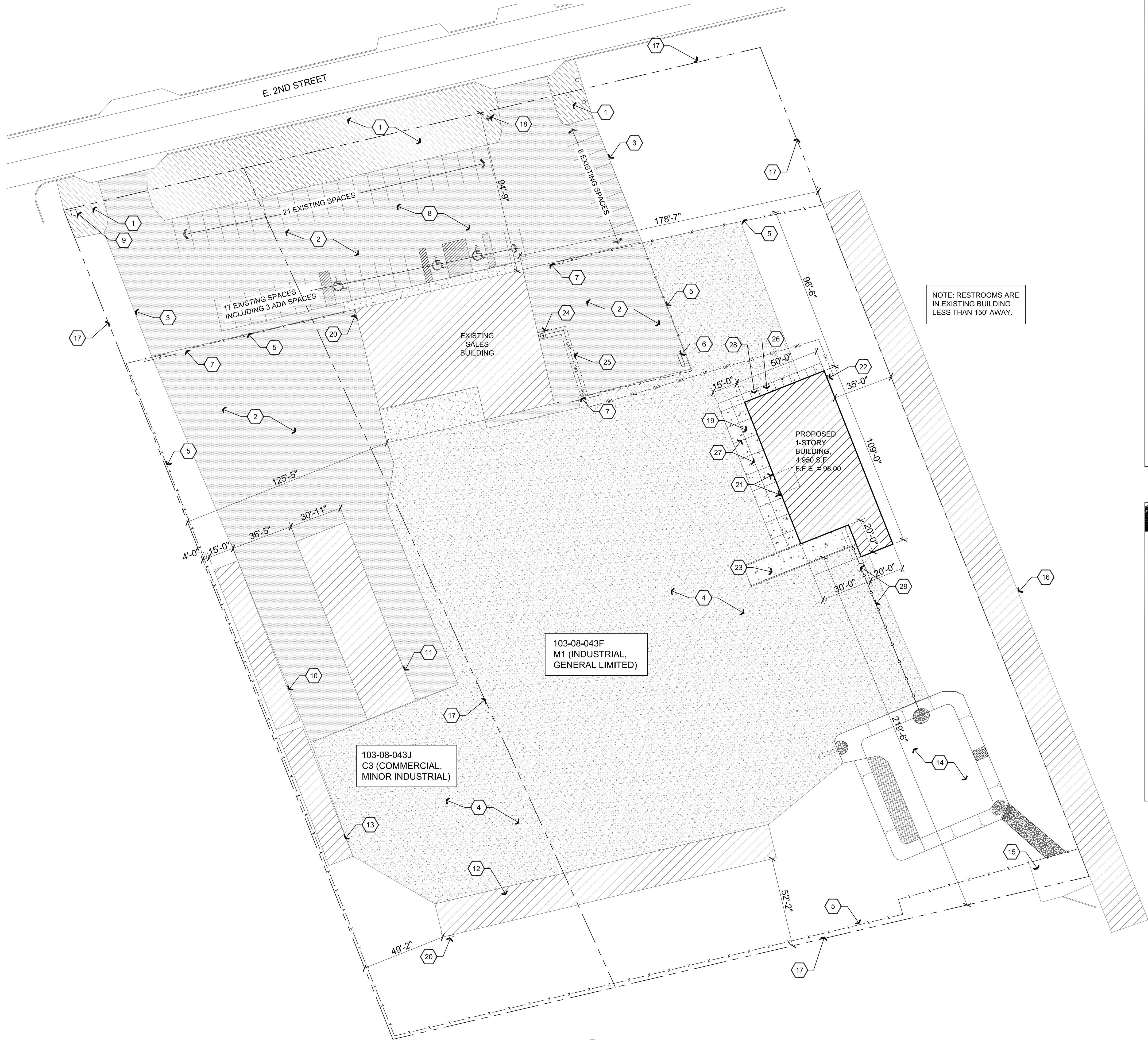
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DRAWING: Grading & Drainage Plan
PROJECT: Builders FirstSource
6601 E. 2nd St.
Prescott Valley, AZ 86314
APN: 103-08-043F

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE May 9, 2017
JOB NO. 699
SHEET

C3.0



Descriptive Keynotes

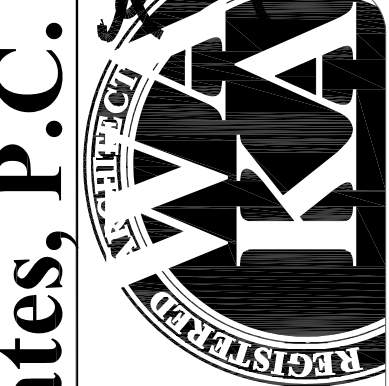
1. EXISTING LANDSCAPING.
2. EXISTING ASPHALTIC PAVEMENT.
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9. EXISTING ELECTRICAL TRANSFORMER.
10. EXISTING ±1,500 S.F. 1-STORY, COVERED STORAGE AREA.
11. EXISTING ±3,465 S.F. 1-STORY COVERED STORAGE AREA.
12. EXISTING ±4,005 S.F. 1-STORY, COVERED STORAGE AREA.
13. EXISTING 1222 S.F. 1-STORY, COVERED STORAGE AREA.
14. EXISTING DETENTION BASIN.
15. EXISTING RIP RAP W/ DRAINAGE CHANNEL
16. EXISTING BUILDING.
17. PROPERTY LINE.
18. EXISTING FIRE HYDRANT.
19. PROVIDE 5" THICK CONCRETE SLAB WITH FIBERMESH AND #4 @ 2'-0" O.E. EACH WAY OVER 20" THICK COMPACTED A.B.C. PROVIDE 12" TURNDOWN AT EDGES.
20. EXISTING ELECTRICAL SERVICE ENTRANCE SECTION. REFER TO ELECTRICAL PLANS.
21. PROVIDE 6'-0" LONG 4" DIAMETER, CONCRETE FILLED, PROTECTIVE STEEL BOLLARDS, EMBEDDED 2'-0" BELOW GRADE INTO CONCRETE FOOTING.
22. NATURAL GAS METER / REGULATOR, REFER TO PLUMBING PLANS.
23. PROVIDE CONCRETE TRUCK RAMP, REFER TO STRUCTURAL PLANS.
24. EXISTING GAS METER.
25. SAWCUT AND REPAIR ASPHALT AS REQUIRED AT NEW NATURAL GASLINE.
26. INDICATES TOOLED CONCRETE CONTROL JOINT.
27. INDICATES SAWCUT JOINT IN CONCRETE.
28. PROVIDE 4" THICK CONCRETE SIDEWALK W/ #3 @ 3'-0" O.C. EACH WAY OVER 8" COMPACTED A.B.C. PROVIDE 12" TURNDOWN AT EDGES.
29. BELOW GRADE STORM WATER EJECTION PUMP WITH TRAFFIC RATED COVER AND FORCE MAIN TO DETENTION BASIN, REFER TO CIVIL AND PLUMBING PLANS.

Legend

- TYPICALLY INDICATES EXISTING ASPHALTIC PAVEMENT
- TYPICALLY INDICATES EXISTING LANDSCAPED AREA
- TYPICALLY INDICATES PROPOSED ADDITIONAL DETENTION AREA
- TYPICALLY INDICATES EXISTING CONCRETE
- TYPICALLY INDICATES PROPOSED CONCRETE
- TYPICALLY INDICATES PROPOSED RIP RAP
- TYPICALLY INDICATES EXISTING BUILDING
- TYPICALLY INDICATES EXISTING ABC

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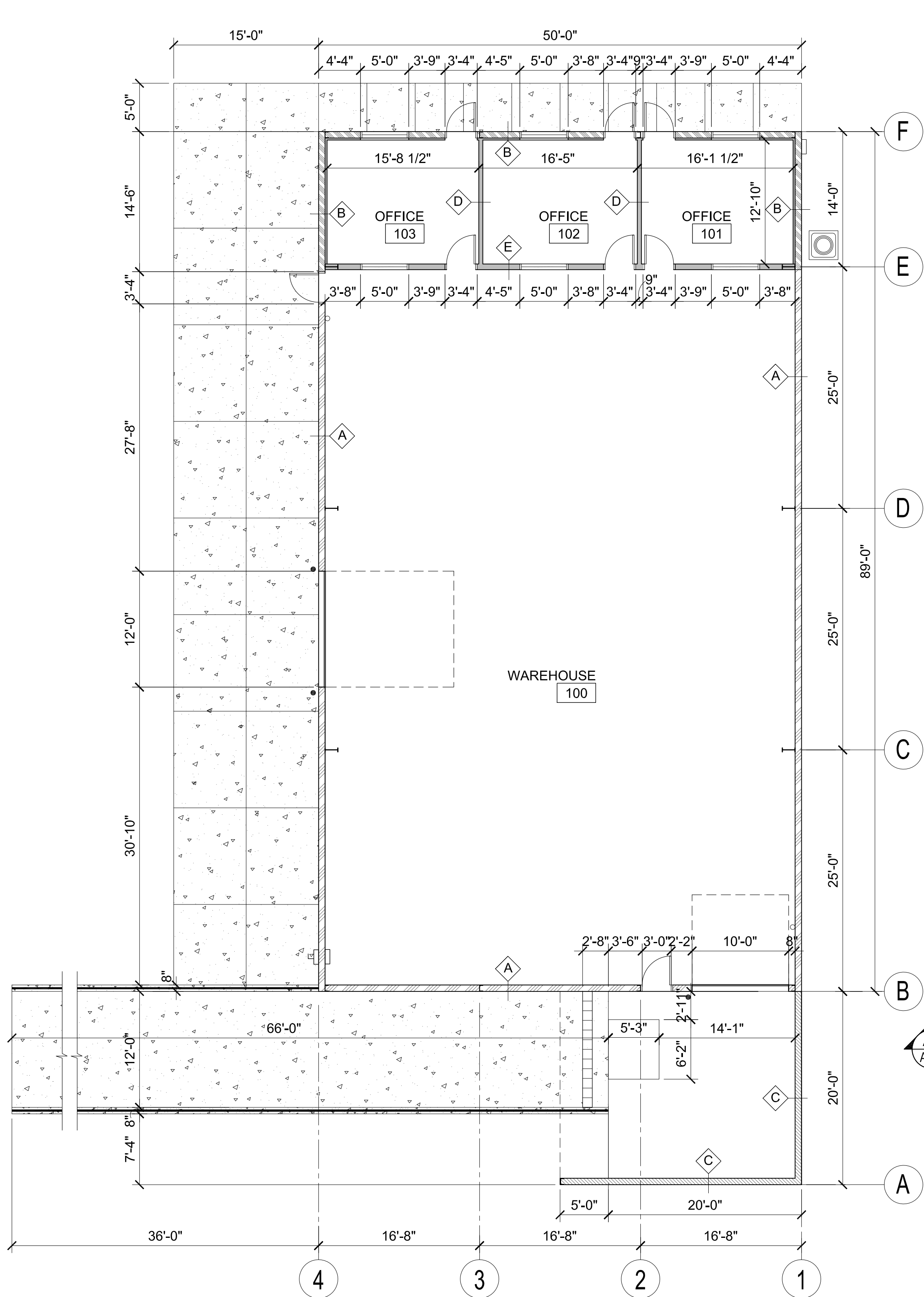
DRAWING: Architectural Partial Utilities / Site Plan

PROJECT: Builders FirstSource
6601 E. 2nd St.
Prescott Valley, AZ 86314
APN: 103-08-043F

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE May 9, 2017
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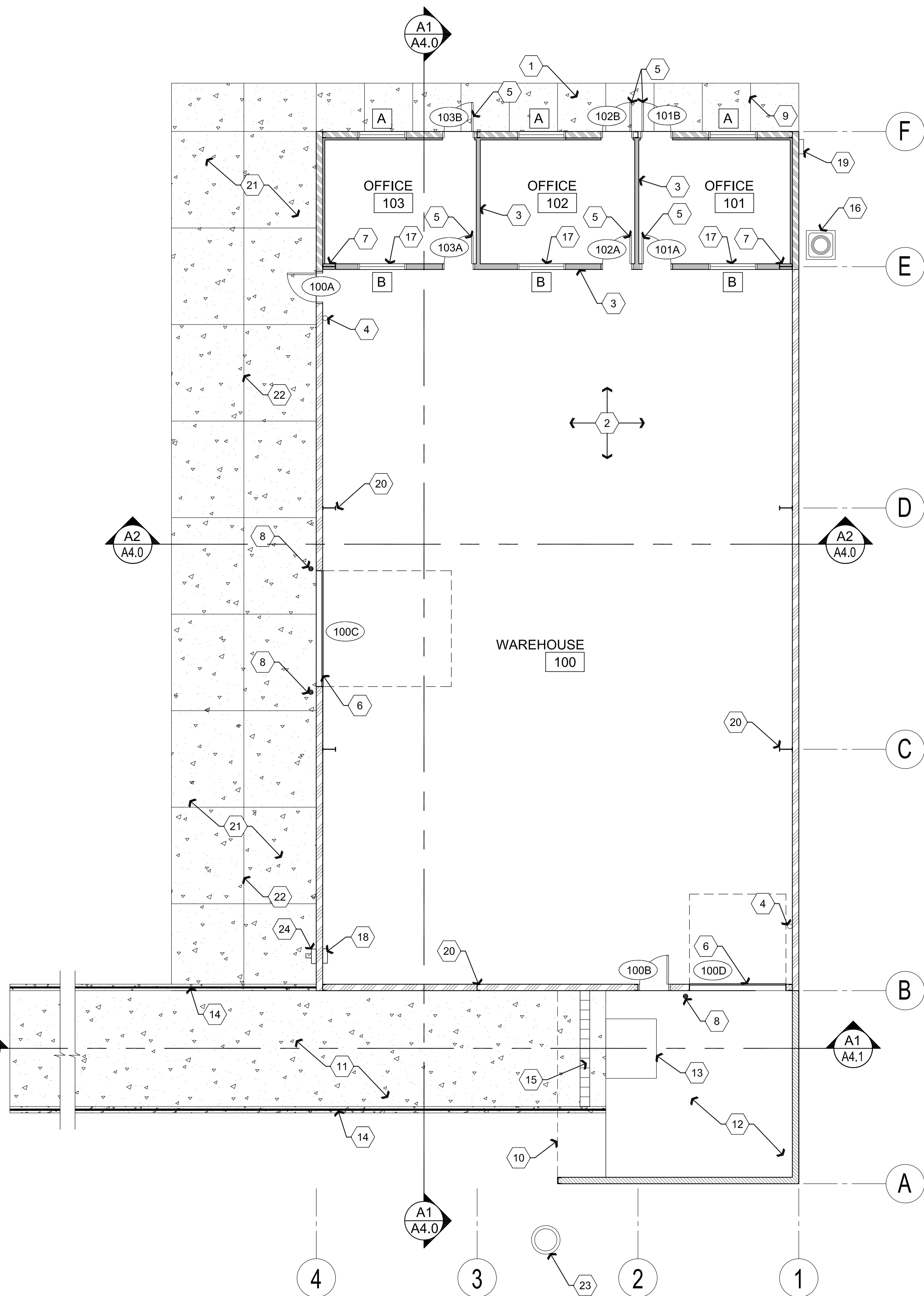
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May 09, 2017 - 2:54pm



A1 Dimension / Wall Types Plan

Scale: 1/8"=1'-0"



B1 Reference Floor Plan

Scale: 1/8"=1'-0"



Descriptive Keynotes

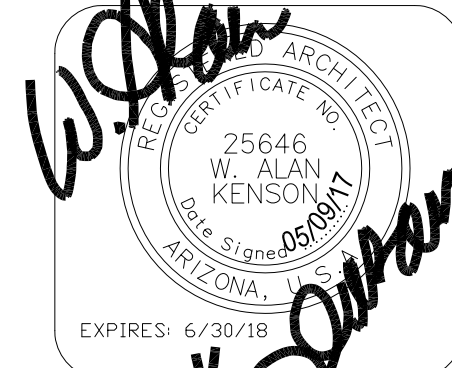
1. PROVIDE CONCRETE SIDEWALK OVER COMPACTED A.B.C., REFER TO SITE PLAN.
2. PROVIDE 5" CONCRETE SLAB WITH FIBERMESH AND #4 REBAR @ 2'-0" O.C. EACH WAY OVER COMPACTED A.B.C. REFER TO STRUCTURAL PLANS. SAWCUT SLAB AT APPROXIMATELY 12'-0" O.C. EACH WAY.
3. PROVIDE INTERIOR WALL, REFER TO WALL TYPES LEGEND FOR TYPE OF CONSTRUCTION.
4. PROVIDE SURFACE MOUNTED TYPE 2A10BC FIRE EXTINGUISHER.
5. PROVIDE DOOR, REFER TO DOOR SCHEDULE. (TYPICAL)
6. PROVIDE SECTIONAL OVERHEAD DOOR, REFER TO DOOR SCHEDULE. (TYPICAL)
7. PROVIDE STEEL COLUMN WITHIN GPDW PARTITION. REFER TO STRUCTURAL PLANS. (TYPICAL)
8. PROVIDE 6'-0" LONG 4" DIAMETER, CONCRETE FILLED, PROTECTIVE STEEL BOLLARDS, EMBEDDED 2'-0" BELOW GRADE INTO CONCRETE FOOTING.
9. TYPICALLY INDICATES TOOLED CONCRETE CONTROL JOINT.
10. ROOF LINE ABOVE.
11. PROVIDE CONCRETE SLAB TRUCK RAMP, REFER TO STRUCTURAL PLANS.
12. PROVIDE 5" CONCRETE SLAB DOCK WITH FIBERMESH AND #4 REBAR @ 2'-0" O.C. EACH WAY OVER COMPACTED A.B.C. REFER TO STRUCTURAL PLANS.
13. PROVIDE DOCK LEVELER. [DL-1]
14. PROVIDE GUARD RAIL. [PT-2]
15. PROVIDE STEEL GRATE AND PREFABRICATED TROUGH, REFER TO PLUMBING PLAN.
16. HVAC CONDENSER ON PAD, REFER TO MECHANICAL PLANS.
17. PROVIDE WINDOW, REFER TO WINDOW SCHEDULE.
18. ELECTRICAL PANEL REFER TO ELECTRICAL PLANS.
19. NATURAL GAS METER / REGULATOR, REFER TO PLUMBING PLANS.
20. STEEL COLUMN, TYPICAL, REFER TO STRUCTURAL PLANS.
21. CONCRETE SLAB, OVER COMPACTED A.B.C., REFER TO SITE PLAN.
22. INDICATES SAWCUT JOINT IN CONCRETE.
23. BELOW GRADE STORM WATER EJECTION PUMP WITH TRAFFIC RATED COVER AND FORCE MAIN TO DETENTION BASIN, REFER TO CIVIL AND PLUMBING PLANS.
24. PROVIDE ELECTRICAL DISCONNECT SWITCH, REFER TO ELECTRICAL PLANS.

Wall Types Legend

- EXTERIOR METAL BUILDING WALL:** PROVIDE EXTERIOR METAL BUILDING SIDING 'R' PANELS OVER 8" HORIZONTAL GIRTS BETWEEN STEEL COLUMNS. PROVIDE R-11 VINYL BACKED, METAL BUILDING INSULATION AT INTERIOR W/ 8'-0" HIGH METAL WALL LINER 'R' PANELS.
- EXTERIOR METAL BUILDING WALL:** PROVIDE EXTERIOR METAL BUILDING SIDING 'R' PANELS ON EXTERIOR SIDE OVER 8" HORIZONTAL GIRTS BETWEEN STEEL COLUMNS AND 5/8" GPDW ON EXPOSED INTERIOR SIDE OF VERTICAL 2-1/2", 25 GAUGE METAL STUDS AT 2'-0" O.C. UP TO 10'-6" ABOVE FINISH FLOOR. REFER TO STRUCTURAL PLANS. PROVIDE R-11 UNFACED BATT INSULATION UP TO 10'-0" AND R-11 VINYL FACED BLANKET INSULATION FROM FLOOR TO ROOF.
- EXTERIOR METAL BUILDING WALL:** PROVIDE EXTERIOR METAL BUILDING SIDING 'R' PANELS ON EXTERIOR SIDE OVER 8" HORIZONTAL GIRTS BETWEEN STEEL COLUMNS. PROVIDE FULL HEIGHT METAL WALL LINER 'R' PANEL AT INTERIOR SIDE OF WALL.
- 3-5/8" STUD WALL:** PROVIDE 3-5/8" 25 GA. STEEL STUDS AT 2'-0" O.C. WITH 5/8" GPDW EACH SIDE. TOP OF PARTITION TO EXTEND 6" ABOVE CEILING.
- 6" STUD WALL:** PROVIDE 6" 20 GA. STEEL STUDS AT 2'-0" O.C. WITH 5/8" GPDW ON EACH SIDE. PROVIDE R-19 UNFACED BATT INSULATION. TOP OF PARTITION TO EXTEND TO STRUCTURE.

REVISIONS	BY

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PROJECT:

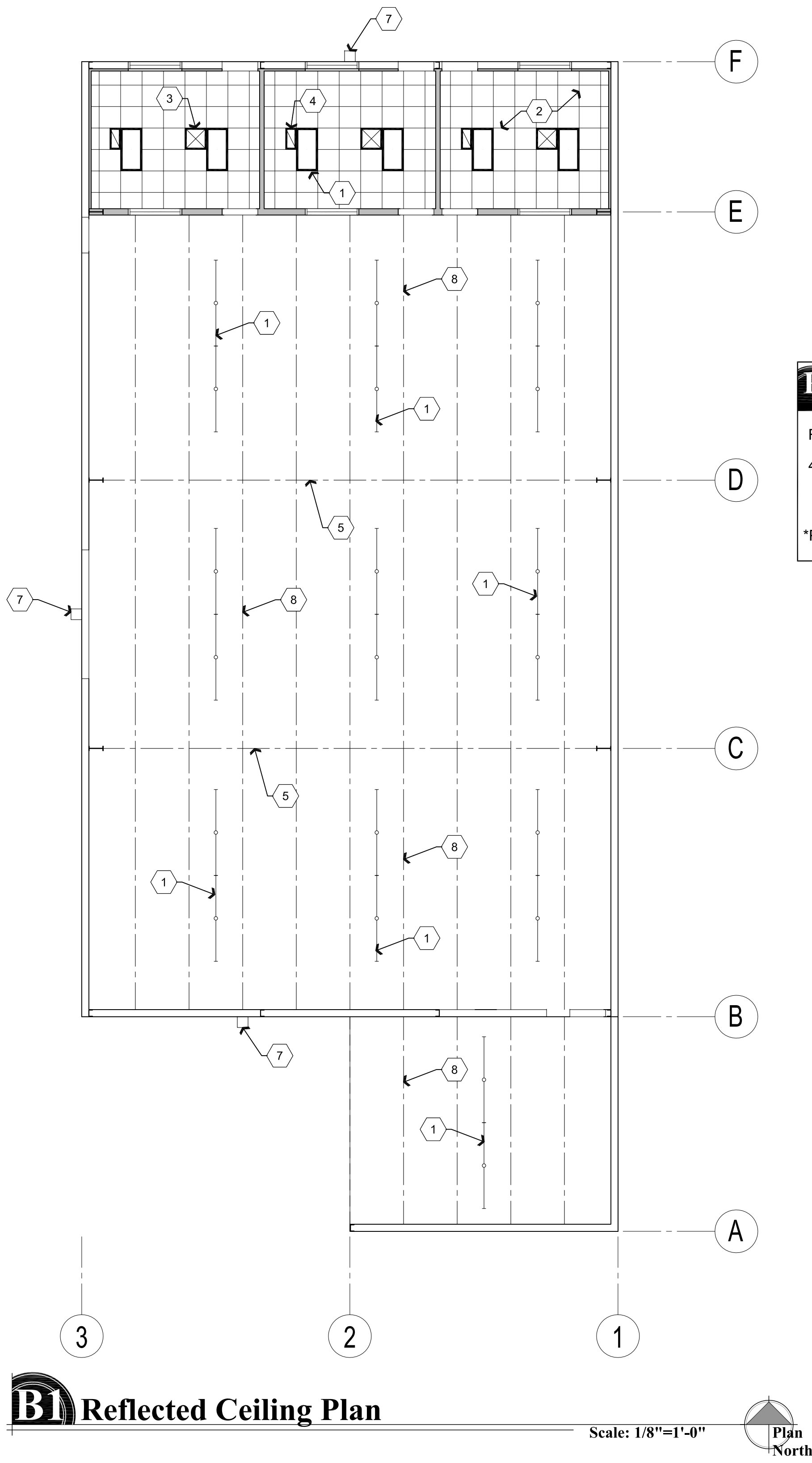
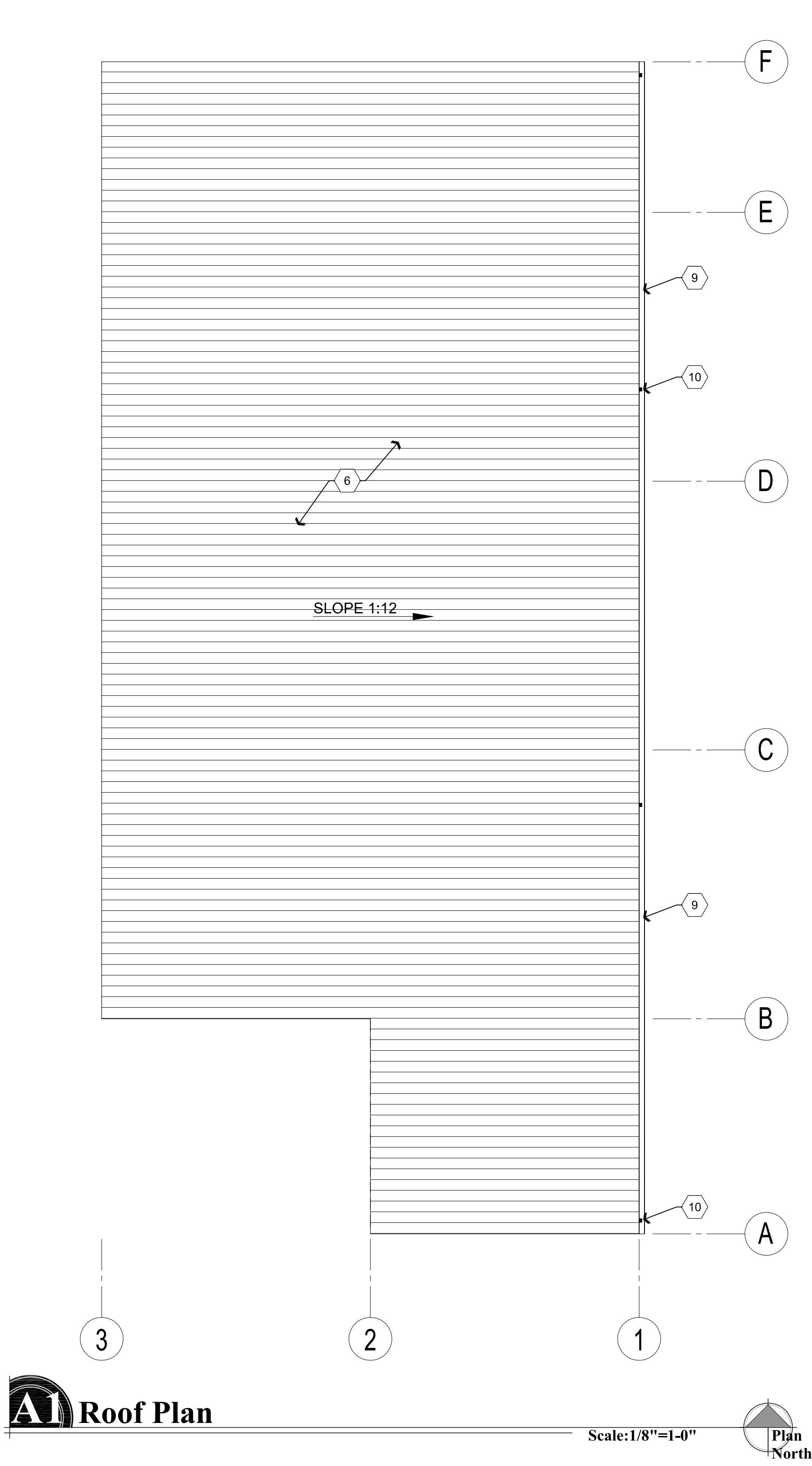
APN:

DRAWING: Reference and Dimension / Wall Types Floor Plans

DRAWN BY
L.O.
CHECKED BY
W.A.K.
DATE
May 9, 2017
JOB NO.
699
SHEET

A2.0

May 09, 2017 - 10:59am



Descriptive Keynotes

1. LIGHT FIXTURE(S) SHOWN FOR QUANTITY AND LOCATION ONLY, TYPICAL. REFER TO ELECTRICAL PLAN.
2. PROVIDE SUSPENDED CEILING, TYPICAL, REFER TO MATERIALS SCHEDULE. AC-1
3. HVAC SUPPLY DIFFUSER, TYPICAL, REFER TO MECHANICAL PLANS.
4. HVAC RETURN GRILLE, TYPICAL, REFER TO MECHANICAL PLANS.
5. STEEL BEAM, REFER TO STRUCTURAL PLANS.
6. PROVIDE 'R' PANEL METAL ROOF. M-1
7. EXTERIOR LIGHT FIXTURE. REFER TO ELECTRICAL PLANS.
8. PROVIDE METAL ROOF PURLIN. REFER TO STRUCTURAL PLANS.
9. PROVIDE SHEET METAL GUTTER. M-6
10. PROVIDE SHEET METAL DOWNSPOUT, TYPICAL OF 4. M-5

Roof Drain Leader Sizes:

ROOF AREA : 4,950 S.F.
4,950 S.F. x 3" RAINFALL P.H. =
(2) 3"x4" LEADERS REQUIRED *
(4) 3"x4" LEADERS PROVIDED
*PER 2012 IPC SECTION 1106 (TABLE 1106.2)

REVISIONS	BY

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ARCHITECTURE & PLANNING

DRAWING: Roof Plan and Reflected Ceiling Plan

PROJECT: Builders FirstSource
6601 E. 2nd St.
Prescott Valley, AZ 86314

APN: 103-08-043F

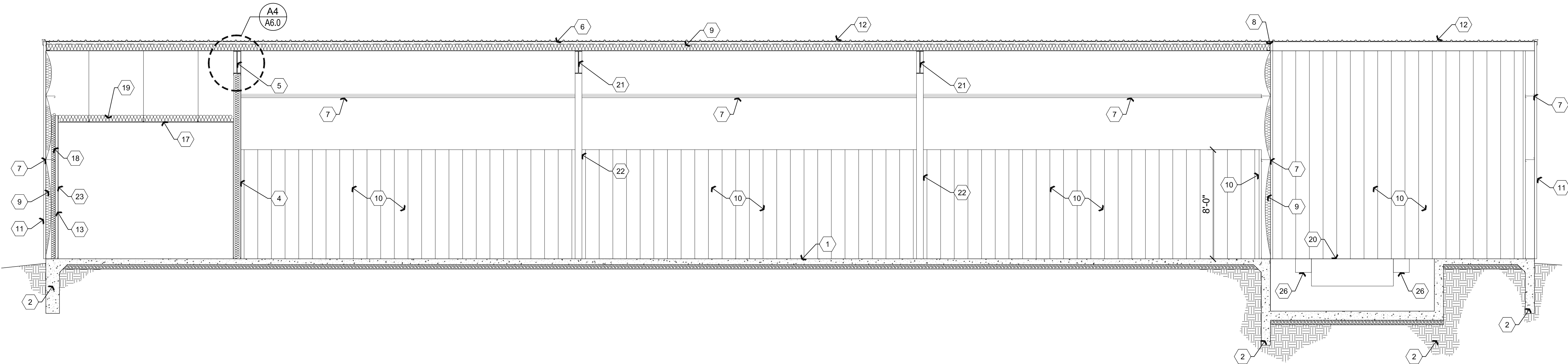
DRAWN BY
L.O.
CHECKED BY
W.A.K.
DATE
May 9, 2017
JOB NO.
699
SHEET

A3.0

May 09, 2017 - 11:00am

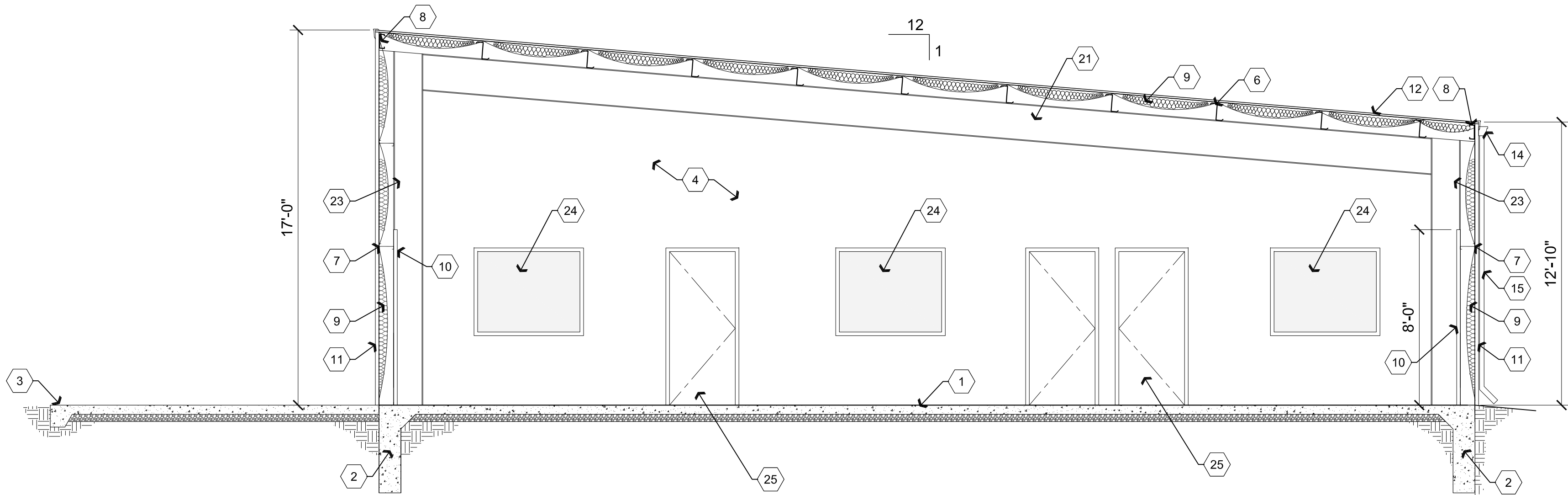
A1 Building Section

Scale: 1/4"=1'-0"



A2 Building Section

Scale: 1/4"=1'-0"



Descriptive Keynotes

1. PROVIDE CONCRETE SLAB OVER COMPACTED A.B.C., SAWCUT SLAB AT APPROXIMATELY 12'-0" O.C. IN BOTH DIRECTIONS. REFER TO STRUCTURAL PLANS.
2. PROVIDE CONCRETE FOOTING. REFER TO STRUCTURAL PLANS.
3. PROVIDE 12" TURNDOWN AT CONCRETE SIDEWALK. REFER TO ARCHITECTURAL SITE PLAN.
4. INTERIOR WALL, REFER TO WALL TYPES PLAN.
5. PROVIDE STEEL BEAM WITHIN GPDW PARTITION. REFER TO STRUCTURAL PLANS.
6. PROVIDE ROOF PURLIN, TYPICAL. REFER TO STRUCTURAL PLANS.
7. PROVIDE STEEL GIRT, TYPICAL. REFER TO STRUCTURAL PLANS.
8. PROVIDE EAVE PURLIN, TYPICAL, REFER TO STRUCTURAL PLANS.
9. PROVIDE R-11 VINYL FACED BLANKET INSULATION.
10. PROVIDE SHEET METAL LINER PANEL. M-4
11. PROVIDE PBR METAL SIDING. M-2
12. PROVIDE 'R' PANEL SHEET METAL ROOF PANELS. REFER TO MATERIAL SCHEDULE. M-1
13. PROVIDE 2 1/2" 25 GAUGE METAL STUDS @ 2'-0" O.C.
14. PROVIDE SHEET METAL GUTTER. M-6
15. PROVIDE SHEET METAL DOWNSPOUT. M-5
16. NOT USED.
17. SUSPENDED CEILING. REFER TO REFLECTED CEILING PLAN.
18. PROVIDE R-11 UNFACED BATT INSULATION UP TO 10'-0".
19. PROVIDE R-19 UNFACED BATT INSULATION ABOVE CEILING.
20. PROVIDE DOCK LEVELER, REFER TO STRUCTURAL PLANS AND MATERIALS SCHEDULE. DL-1
21. PROVIDE STEEL BEAM, REFER TO STRUCTURAL PLANS.
22. PROVIDE STEEL COLUMN, REFER TO STRUCTURAL PLANS.
23. PROVIDE 5/8" GPDW.
24. PROVIDE WINDOW, REFER TO REFERENCE FLOOR PLAN AND WINDOW TYPES. W-2
25. PROVIDE DOOR, REFER TO REFERENCE FLOOR PLAN AND DOOR SCHEDULE.
26. PROVIDE DOCK BUMPERS, REFER TO MATERIALS SCHEDULE. DL-2

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ARCHITECTURE & PLANNING

DRAWING: Building Sections

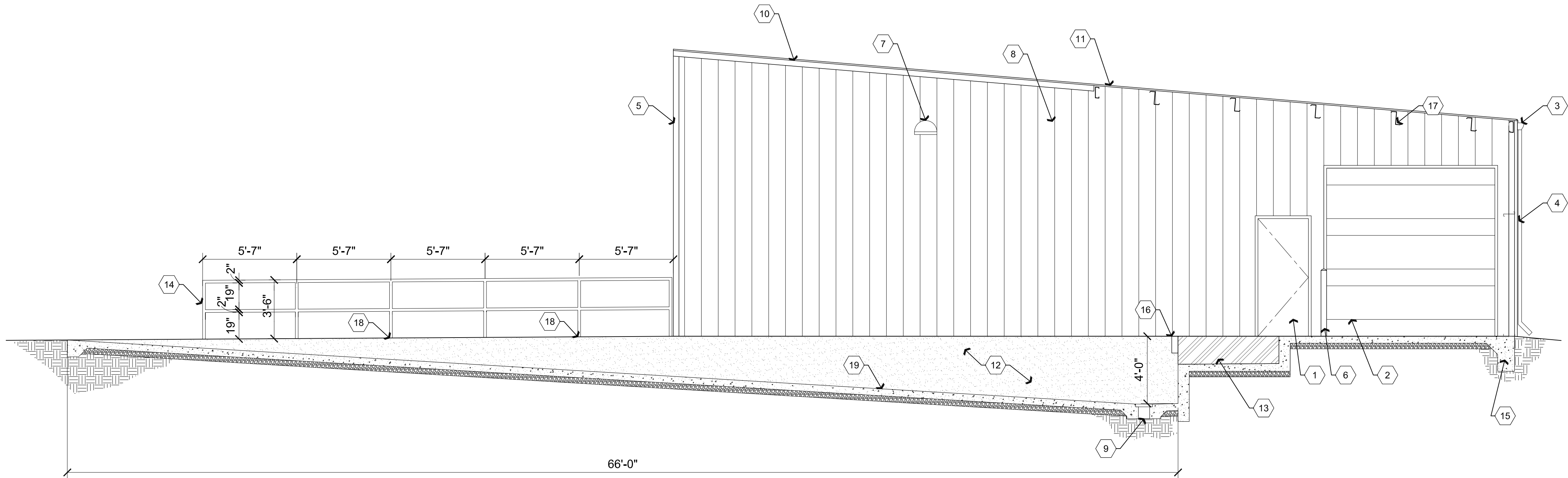
PROJECT: Builders FirstSource
6601 E. 2nd St.
Prescott Valley, AZ 86314

APN: 103-08-043F

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE May 9, 2017
JOB NO. 699
SHEET

A4.0

May 09, 2017 - 11:00am



A4.1 Building Section

Scale: 1/4"=1'-0"

Descriptive Keynotes

1. HOLLOW METAL DOOR, REFER TO REFERENCE FLOOR PLAN AND DOOR SCHEDULE.
2. OVERHEAD DOOR, REFER TO REFERENCE FLOOR PLAN AND DOOR SCHEDULE.
3. PROVIDE SHEET METAL GUTTER. [M-6]
4. PROVIDE SHEET METAL DOWNSPOUT. [M-5]
5. PROVIDE SHEET METAL CORNER TRIM. [M-4]
6. 4" STEEL CONCRETE FILLED BOLLARDS, 4'-0" ABOVE CONCRETE WITH 2'-0" EMBEDDED INTO CONCRETE FOOTING BELOW, TYPICAL.
7. LIGHT FIXTURE, REFER TO ELECTRICAL PLANS.
8. PROVIDE METAL WALL PANEL. REFER TO STRUCTURAL PLANS, WALL TYPES AND MATERIALS SCHEDULE. [M-2]
9. PROVIDE STEEL GRATE AND PREFAB TROUGH, REFER TO PLUMBING PLANS.
10. PROVIDE RAKE TRIM. [M-3]
11. PROVIDE 'R' PANEL METAL ROOF. [M-1]
12. CONCRETE RETAINING / STEM WALL, REFER TO STRUCTURAL PLANS.
13. PROVIDE DOCK LEVELER. [DL-1]
14. PROVIDE 2"x2"x1/8" STEEL TUBE GUARDRAIL ON BOTH SIDES OF TRUCK RAMP. GUARDRAIL SHALL NOT HAVE OPENINGS THAT ALLOW A 21" SPHERE TO PASS THROUGH. [PT-2]
15. PROVIDE CONCRETE FOOTING, REFER TO STRUCTURAL PLANS.
16. PROVIDE DOCK BUMPERS, REFER TO MATERIALS SCHEDULE. [DL-2]
17. PROVIDE ROOF PURLIN, TYPICAL, REFER TO STRUCTURAL PLANS.
18. PROVIDE 4"x4"x1/4" BASE PLATE. ATTACH TO CONCRETE WALL W/ 3/8"x3" EXPANSION BOLTS, TYPICAL.
19. CONCRETE TRUCK RAMP, REFER TO STRUCTURAL PLANS.

REVISIONS	BY

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ARCHITECTURE & PLANNING

REGISTERED ARCHITECT

DRAWING: Building Section

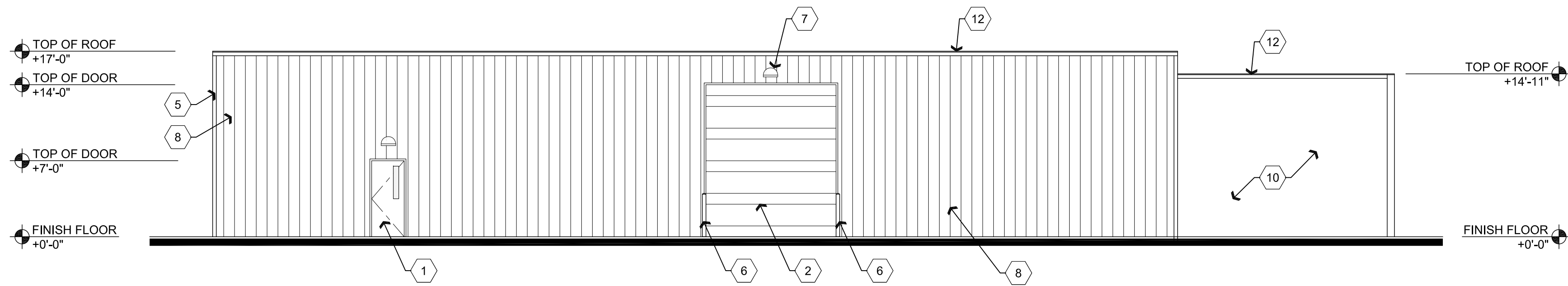
PROJECT: Builders FirstSource
6601 E. 2nd St.
Prescott Valley, AZ 86314

APN: 103-08-043F

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE May 9, 2017
JOB NO. 699
SHEET

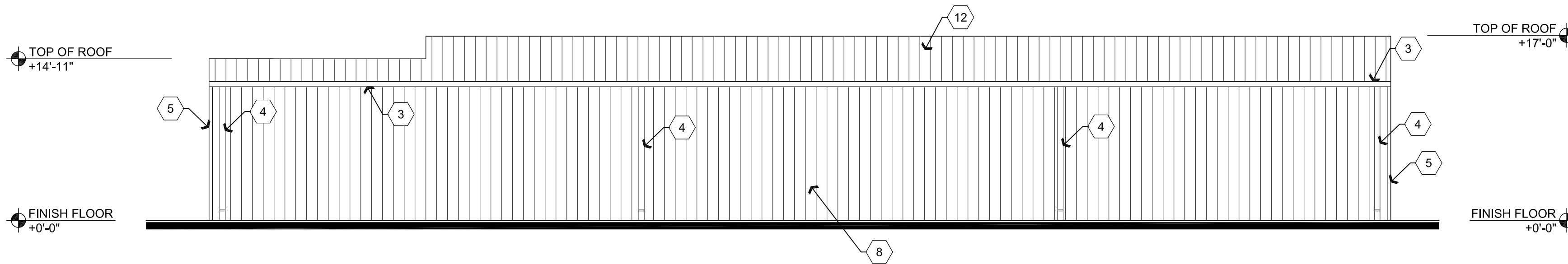
A4.1

May 09, 2017 - 3:05pm



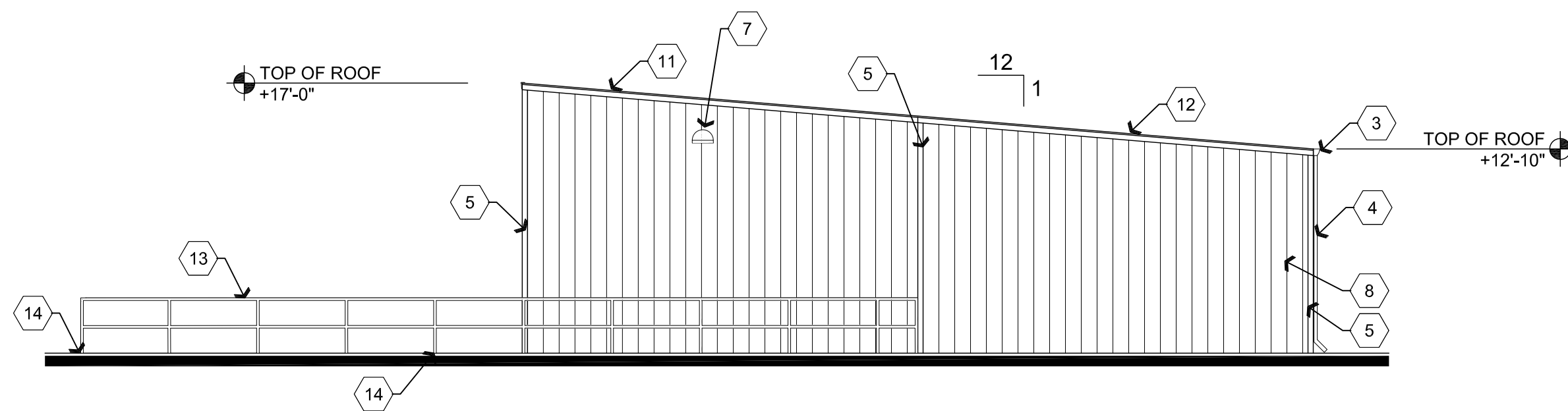
A3 West Elevation

Scale: 1/8"=1'-0"



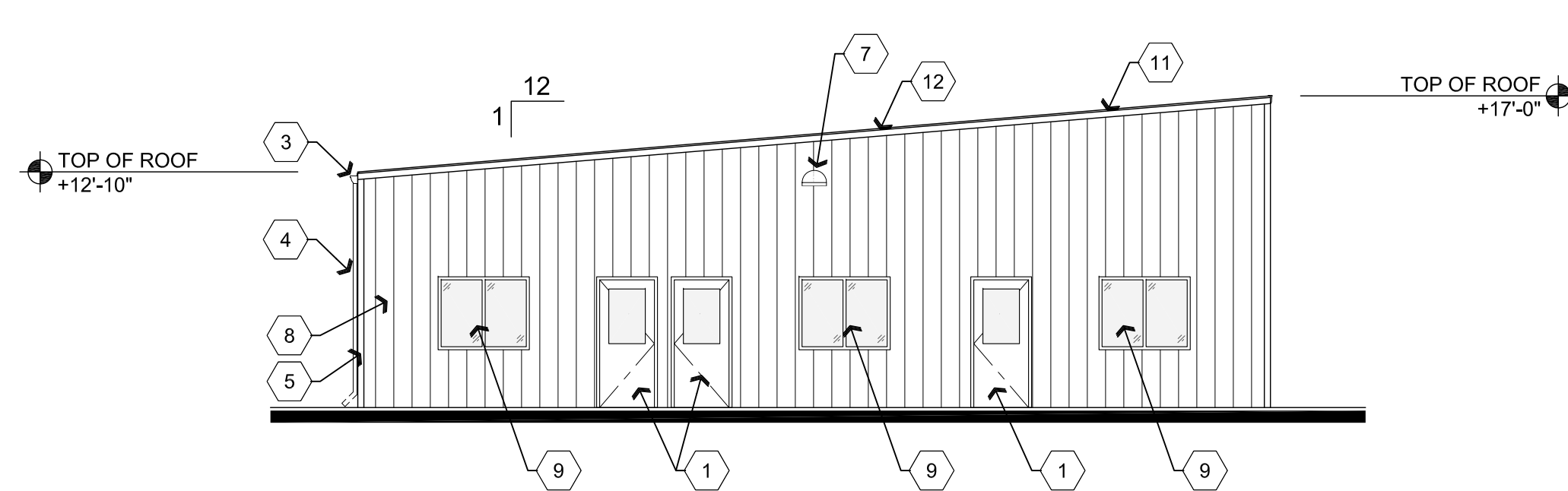
A2 East Elevation

Scale: 1/8"=1'-0"



A1 South Elevation

Scale: 1/8"=1'-0"



B1 North Elevation

Scale: 1/8"=1'-0"

Descriptive Keynotes

1. HOLLOW METAL DOOR, REFER TO REFERENCE FLOOR PLAN AND DOOR SCHEDULE.
2. OVERHEAD DOOR, REFER TO REFERENCE FLOOR PLAN AND DOOR SCHEDULE.
3. PROVIDE SHEET METAL GUTTER. [M-6]
4. PROVIDE SHEET METAL DOWNSPOUT. [M-5]
5. PROVIDE SHEET METAL CORNER TRIM. [M-3]
6. 4" STEEL CONCRETE FILLED BOLLARDS, 4'-0" ABOVE CONCRETE WITH 2'-0" EMBEDDED INTO CONCRETE FOOTING BELOW, TYPICAL.
7. LIGHT FIXTURE, REFER TO ELECTRICAL PLANS.
8. PROVIDE METAL WALL PANEL, REFER TO STRUCTURAL PLANS, WALL TYPES AND MATERIALS SCHEDULE. [M-2]
9. EXTERIOR WINDOW. REFER TO REFERENCE FLOOR PLAN AND WINDOW TYPES. [W-1]
10. COVERED DOCK AREA, OPEN IN FRONT.
11. PROVIDE RAKE TRIM. [M-3]
12. PROVIDE 'R' PANEL METAL ROOF. [M-1]
13. PROVIDE 2"x2"x1/8" STEEL TUBE GUARDRAIL ON BOTH SIDES OF TRUCK RAMP. GUARDRAIL SHALL NOT HAVE OPENINGS THAT ALLOW A 21" SPHERE TO PASS THROUGH. [PT-2]
14. PROVIDE 4"x4"x1/4" BASE PLATE. ATTACH TO CONCRETE WALL W/ 3/8"x3" EXPANSION BOLTS, TYPICAL.

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ARCHITECTURE & PLANNING

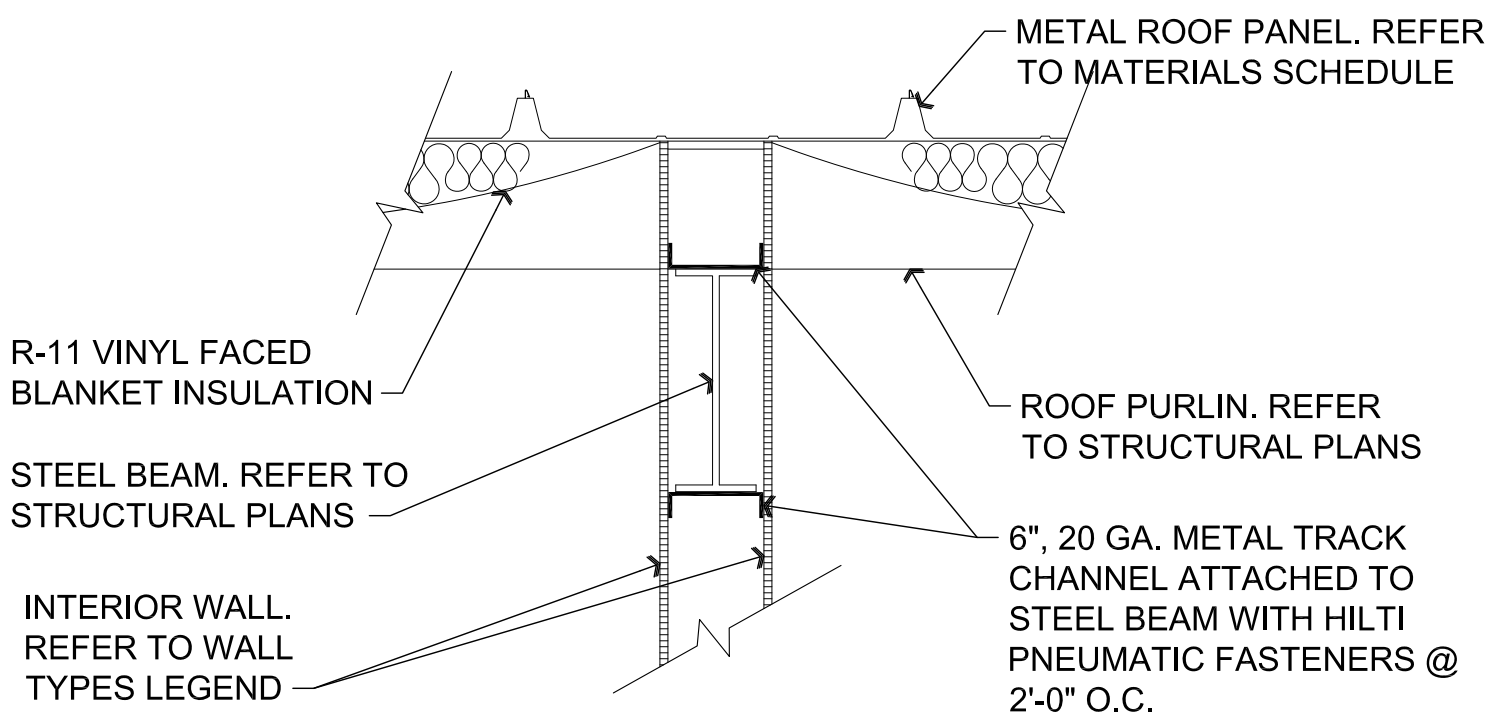
DRAWING: Exterior Elevations

PROJECT: Builders FirstSource
6601 E. 2nd St.
Prescott Valley, AZ 86314

APN: 103-08-043F

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE May 9, 2017
JOB NO. 699
SHEET

A5.0



A4 GPDW Partition at Beam

SCALE: 1" = 1'-0"

Materials schedule

XX- #

CODE	MATERIAL	LOCATION	MANUFACTURER	SPECIFICATION
AC-1	ACOUSTICAL CEILING TILE	REFER TO REFLECTED CEILING PLAN	ROCKFON	ASTM E1264; 2'x2'x5/8" #600 NON DIRECTIONAL SQUARE LAY IN TILE 15/16" WHITE SUSPENDED METAL T-BAR GRID
D-1	INTERIOR DOOR	OFFICES	HALEY	SOLID CORE OAK LEGACY WOOD WITH BLACK STEEL TIMELY DOOR FRAME
D-2	DOOR	EXTERIOR DOORS		18 GAUGE HOLLOW METAL DOOR WITH 16 GAUGE HOLLOW METAL FRAME
D-3	OVERHEAD DOOR	WAREHOUSE	CHI	INSULATED RIBBED STEEL OVERHEAD DOOR WITH CHAIN HOIST, MODEL 3241
M-1	METAL ROOF PANEL	ROOF	MBCI	PBR, 26 GAUGE, PRE-PAINTED, POLAR WHITE (SIGNATURE 200)
M-2	EXTERIOR METAL WALL PANEL	EXTERIOR WALLS	MBCI	PBR PANEL 26 GAUGE, PRE-PAINTED, POLAR WHITE (SIGNATURE 200)
M-3	EXTERIOR METAL TRIM	EXTERIOR WALLS AS INDICATED ON ELEVATION PLANS	MBCI	26 GAUGE, PRE-PAINTED, SCARLET RED (SIGNATURE 300)
M-4	METAL LINER PANEL	INTERIOR OF EXTERIOR WALLS UP TO 8'-0" A.F.F.	MBCI	PBR PANEL 26 GAUGE PRE-PAINTED, POLAR WHITE (SIGNATURE 200)
M-5	DOWNSPOUTS	EXTERIOR EAST SIDE OF BUILDING	MBCI	26 GAUGE, PRE-PAINTED, POLAR WHITE (SIGNATURE 200)
M-6	RAIN GUTTER	EXTERIOR EAST SIDE OF BUILDING	MBCI	26 GAUGE, PRE-PAINTED, SCARLET RED (SIGNATURE 300)
PT-1	PAINT	INTERIOR WALLS	SHERWIN WILLIAMS	DOVER WHITE
PT-2	PAINT	GUARD RAILS	SHERWIN WILLIAMS	SHERWIN WILLIAMS B50AZ6 KEM-KROMIK GREY PRIMER WITH SHERWIN WILLIAMS F75BC14 SHER-KEM RAVEN BLACK
RB-1	RUBBER BASE	REFER TO ROOM FINISH SCHEDULE	ROPPE	BLACK / BROWN
VCT-1	VINYL COMPOSITION TILE	OFFICES	ARMSTRONG	IMPERIAL TEXTURE, STANDARD EXCELON, 51836 SHELTER WHITE
W-1	EXTERIOR WINDOW	OFFICES	M&I	5'x4' SLIDER
W-2	INTERIOR WINDOW	OFFICES	TIMELY	5'x4' FIXED
DL-1	DOCK LEVELER	DOCK	POWERAMP	CM-66
DL-2	DOCK BUMPER	DOCK	POWERAMP	B410-14F

Door Schedule

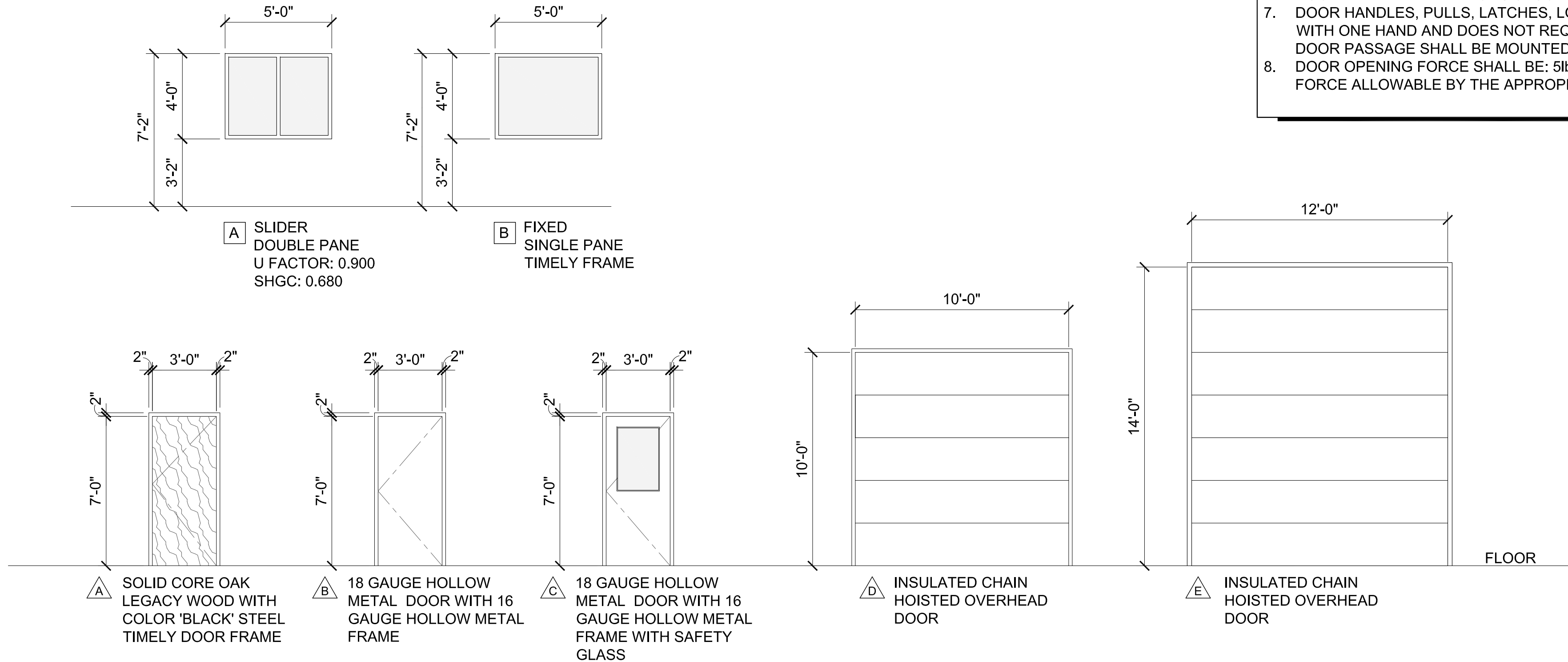
NO.	ROOM NAME	SIZE	TYPE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE TYPE	COMMENTS
100A	WAREHOUSE	3'-0"x7'-0"	B	H.M.	PAINT	H.M.	PAINT	HW-02	
100B	WAREHOUSE	3'-0"x7'-0"	B	H.M.	PAINT	H.M.	PAINT	HW-02	
100C	WAREHOUSE	12'-0"x14'-0"	E	STEEL	PAINT	STEEL	PAINT	HW-03	
100D	WAREHOUSE	10'-0"x10'-0"	D	STEEL	PAINT	STEEL	PAINT	HW-03	
101A	OFFICE	3'-0"x7'-0"	A	S.C. WOOD	PRE-FINISHED STAIN	STEEL	PAINT	HW-01	
101B	OFFICE	3'-0"x7'-0"	C	H.M.	PAINT	H.M.	PAINT	HW-02	
102A	OFFICE	3'-0"x7'-0"	A	S.C. WOOD	PRE-FINISHED STAIN	STEEL	PAINT	HW-01	
102B	OFFICE	3'-0"x7'-0"	C	H.M.	PAINT	H.M.	PAINT	HW-02	
103A	OFFICE	3'-0"x7'-0"	A	S.C. WOOD	PRE-FINISHED STAIN	STEEL	PAINT	HW-01	
103B	OFFICE	3'-0"x7'-0"	C	H.M.	PAINT	H.M.	PAINT	HW-02	

DOOR NOTES:

- ALL EXIT DOORS & HARDWARE SHALL COMPLY WITH THE 2012 I.B.C.
- DOOR THRESHOLDS SHALL HAVE A MAX HEIGHT OF 1/2" FOR H.C. ACCESSIBILITY. THRESHOLD SHALL HAVE A MAXIMUM RISE OF 1/4" AND 1/2" RISE WHEN BEVELED WITH MAXIMUM 1:2 SLOPE.
- ALL GLAZING IN DOORS SHALL BE SAFETY GLAZING.
- ALL INTERIOR DOORS SHALL BE OPERABLE FOR EMERGENCY EXITING PURPOSES WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE NOR EFFORT.
- ALL GLAZING WITHIN 24" OF OPENINGS SHALL BE SAFETY GLASS.
- IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
- DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. HARDWARE REQUIRED FOR DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISH FLOOR.
- DOOR OPENING FORCE SHALL BE: 5lbf MAX INTERIOR HINGED, SLIDING OR FOLDING DOORS; FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.

Hardware Schedule

HW-01:	LEVER ENTRY LOCK, WALL STOP
HW-02:	LEVER ENTRY LOCK, CHAIN STOP, WEATHER STRIP, THRESHOLD, DOOR BOTTOM
HW-03:	CHAIN HOISTED OPERATOR



A1 Door and Window Types

Scale: n.t.s.

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ARCHITECTURE & PLANNING

DRAWING: Schedules & Details

PROJECT:

Builders FirstSource
6601 E. 2nd St.
Prescott Valley, AZ 86314

APN:

103-08-043F

DRAWN BY

L.O.

CHECKED BY

W.A.K.

DATE

May 9, 2017


JOB NO.

699

SHEET

A6.0

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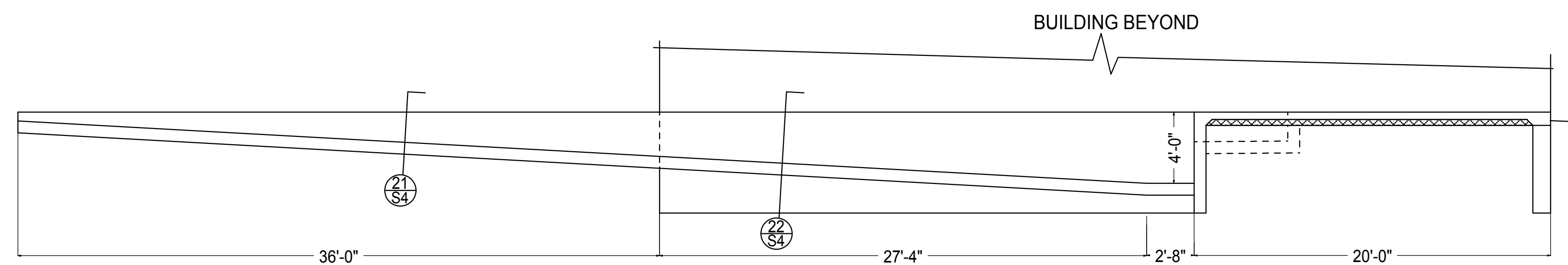
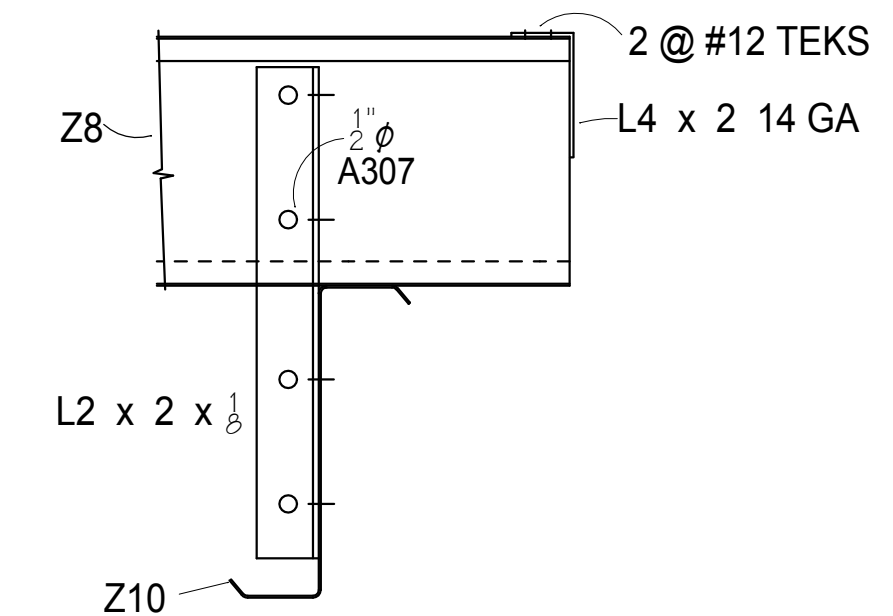
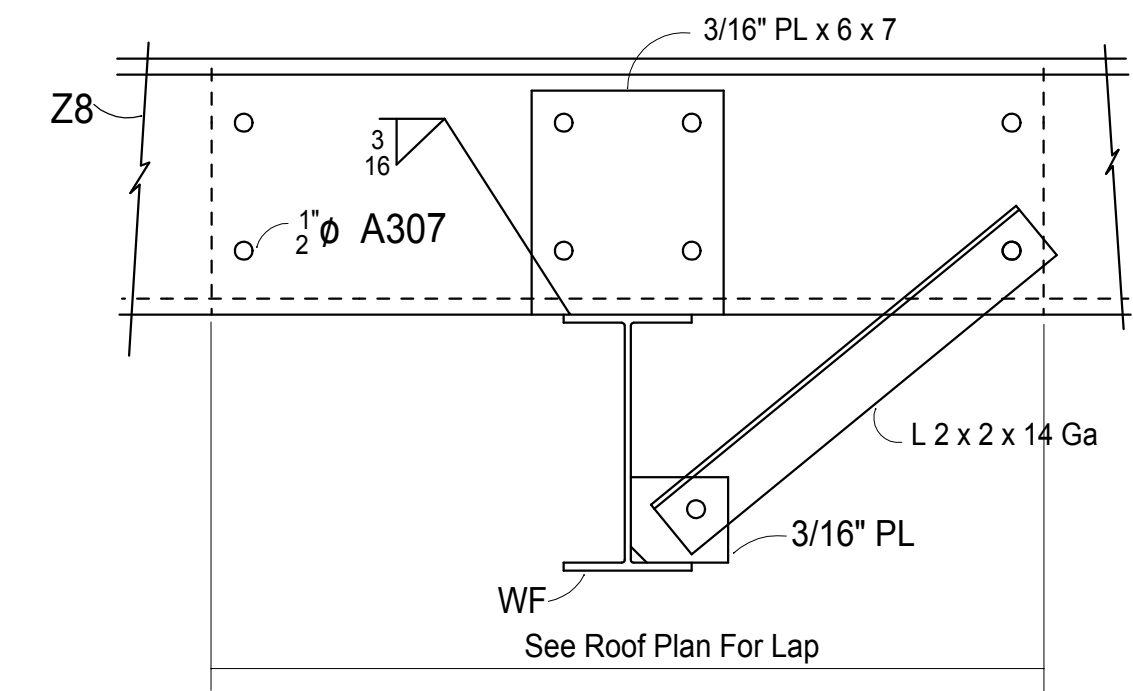
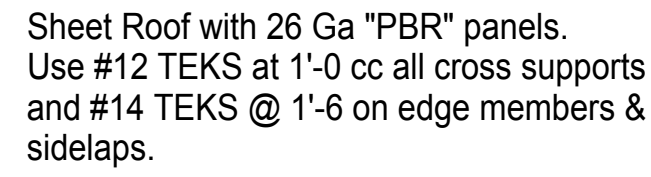
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DRAWING:

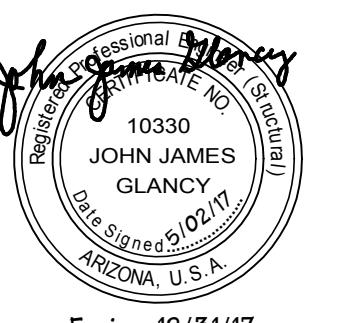
PROJECT I:

Builders FirstSource
6601 E. 2nd Street
Prescott Valley, AZ 86314

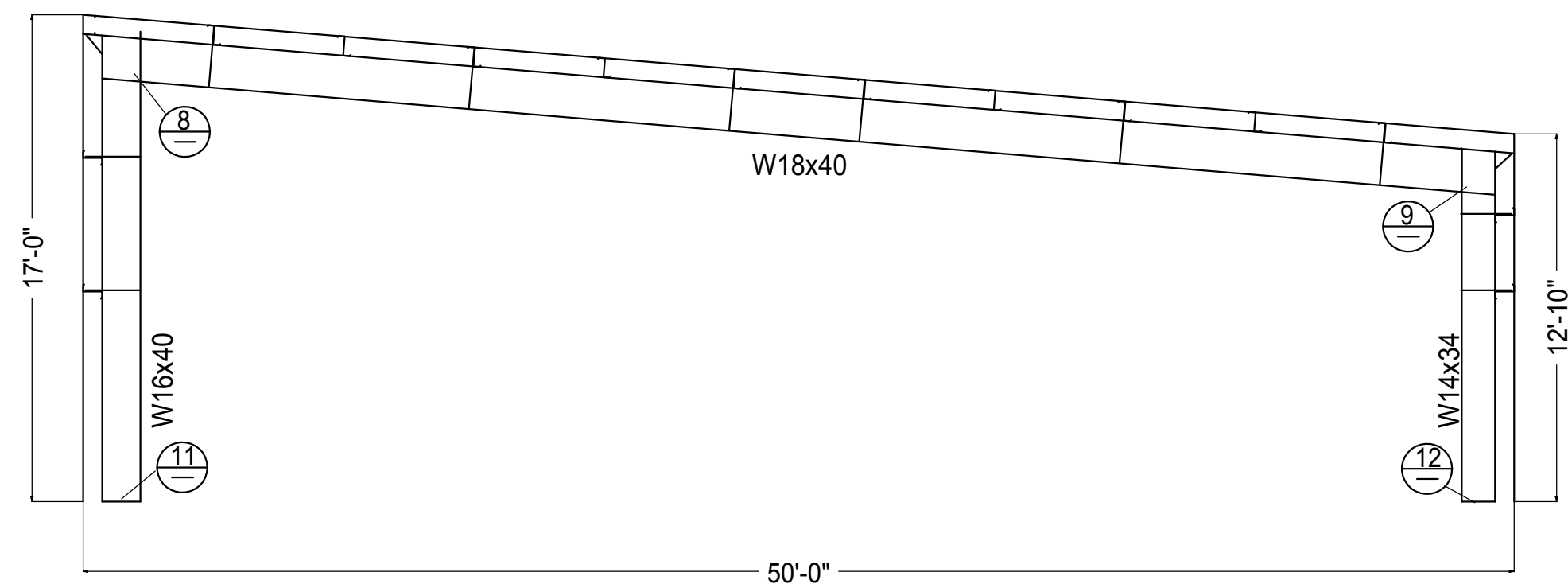
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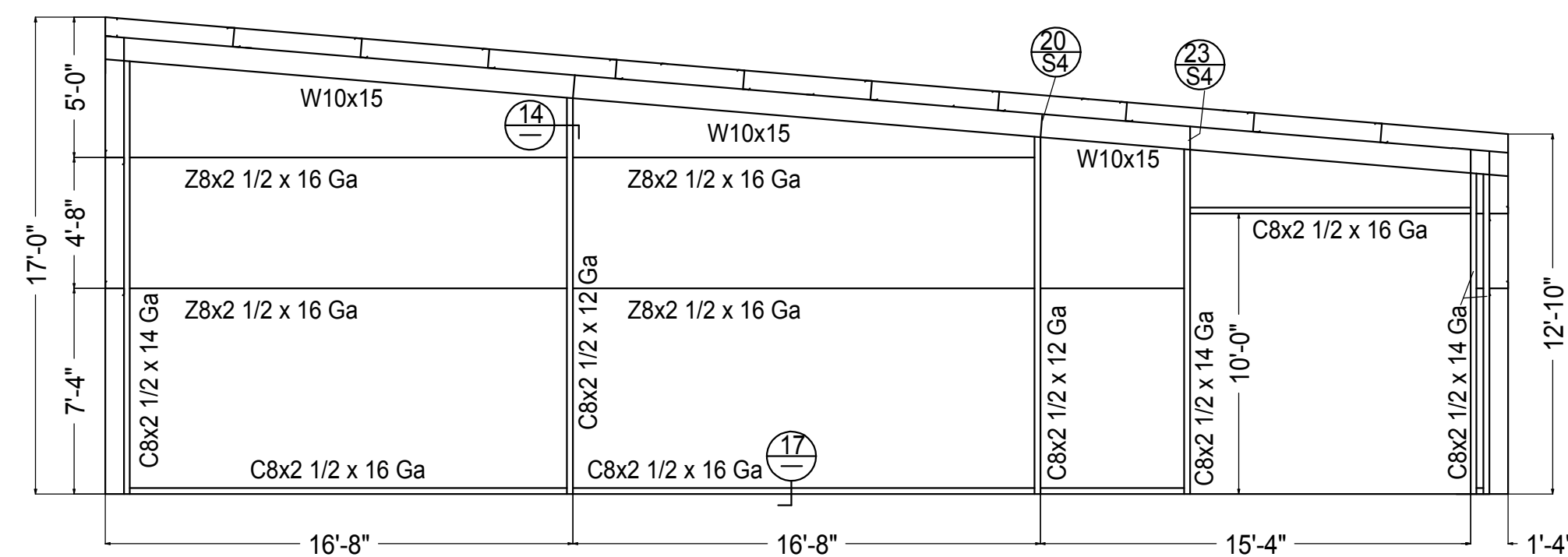
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DRAWN BY JJG
CHECKED BY JJG
DATE 5/02/17
SCALE 3/16" = 1'-0"
JOB NO. 699
SHEET

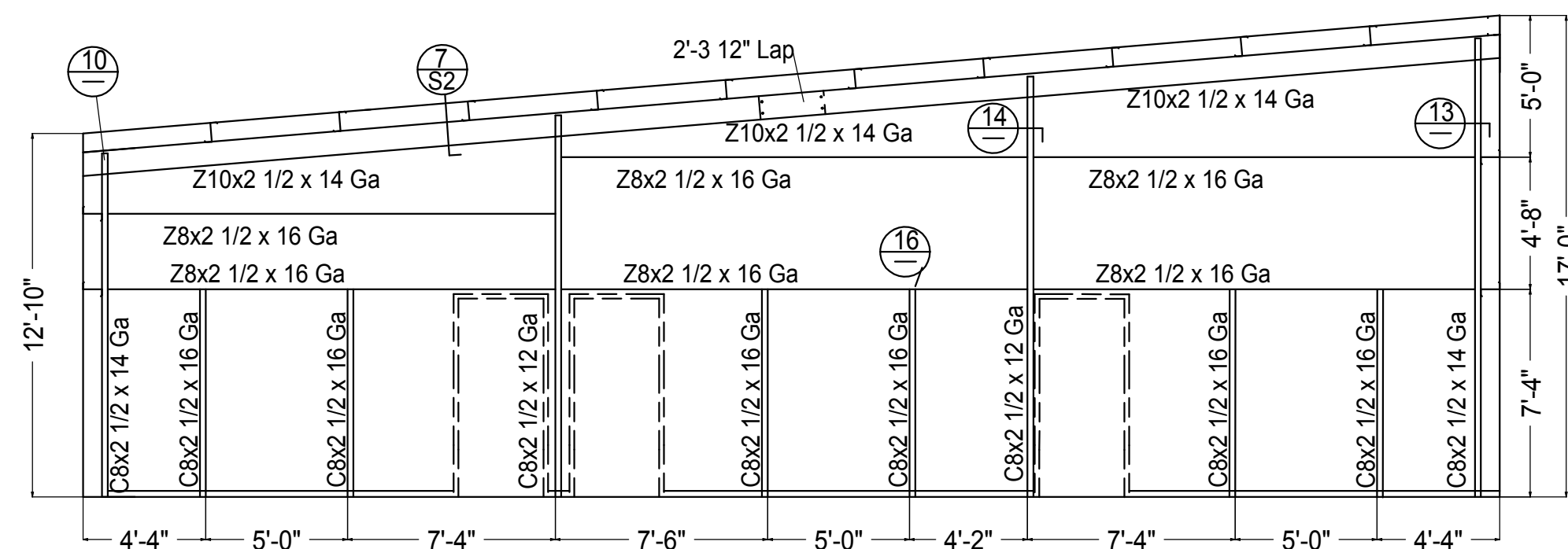


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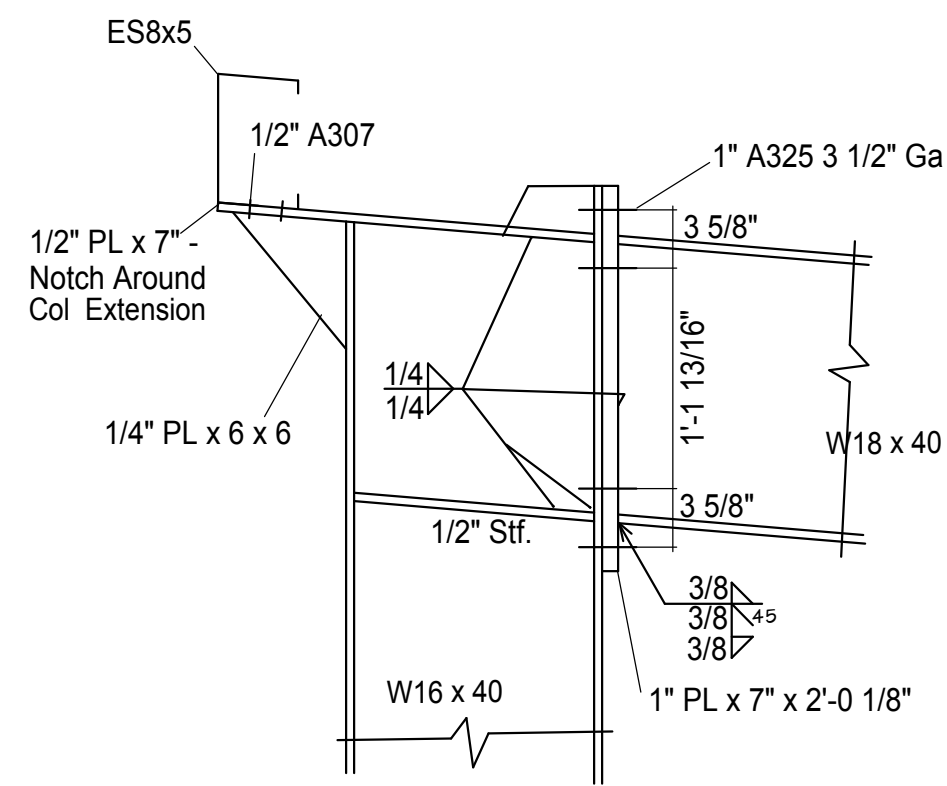
SOUTH ELEVATION

Sheet Wall with 26 Ga "PBR" panels.
Use #12 TEKS at 1'-0 cc all cross supports
and #14 TEKS @ 1'-6 on edge members &
sidelaps. Use #12 TEKS @ 6" cc all panel ends.
Line Interior to 8'-0" with 26 Ga "PBR" Panels.

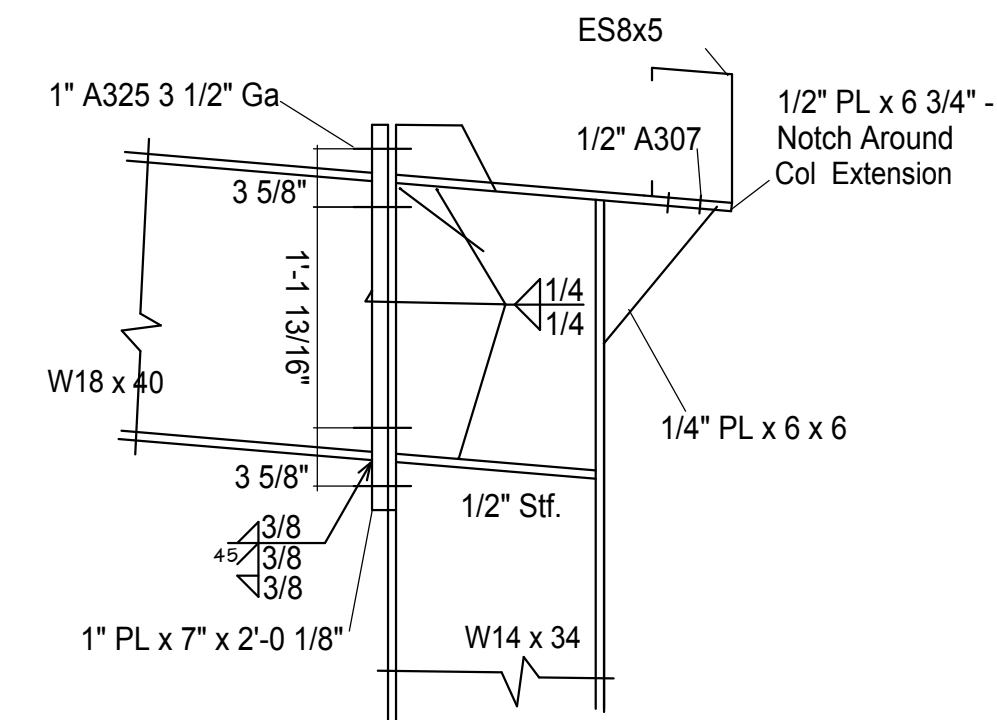


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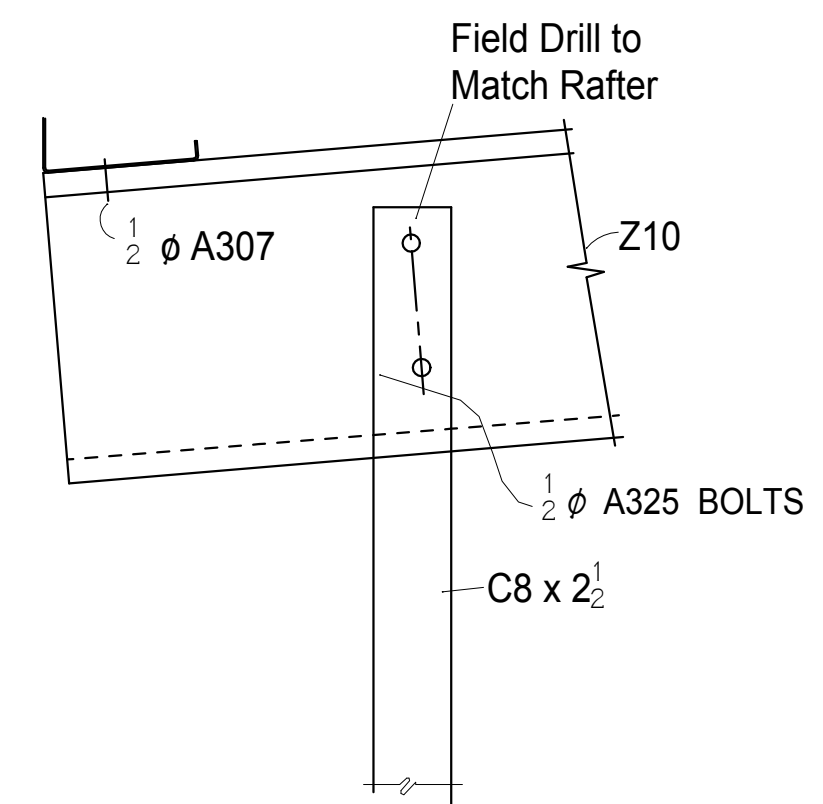
Sheet Wall with 26 Ga "PBR" panels.
Use #12 TEKS at 1'-0 cc all cross supports
and #14 TEKS @ 1'-6 on edge members &
sidelaps. Use #12 TEKS @ 6" cc all panel ends.
Line Interior to 10'-6" with 5/8" GPDW over
2 1/2" 25 Ga Studs at 24"/c



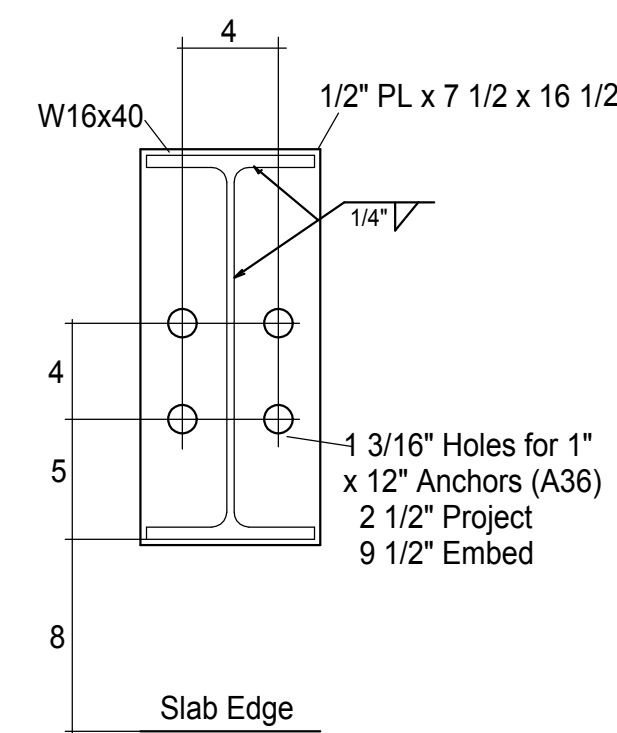
8 Frame Haunch High Side



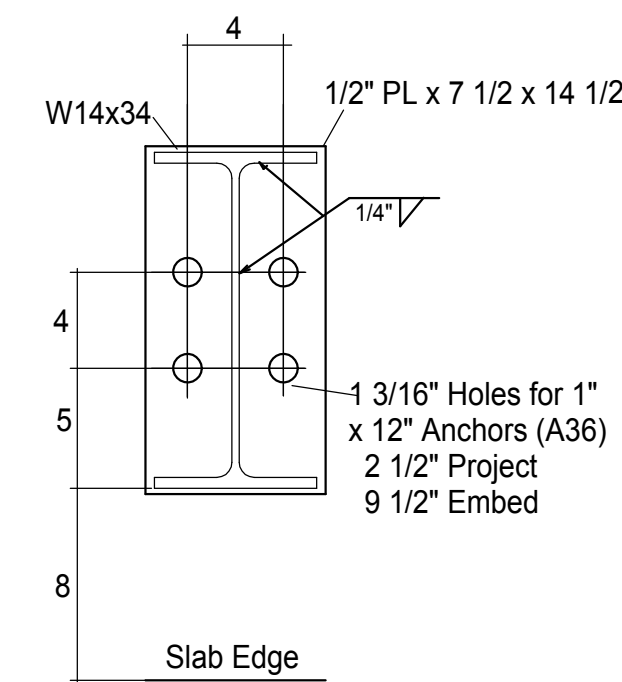
9 Frame Haunch Low Side



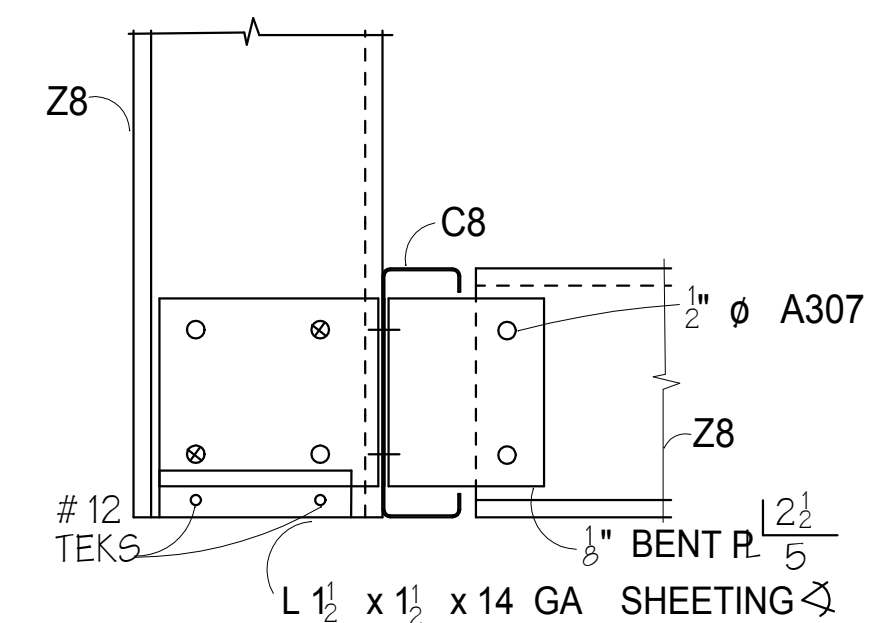
10 Corner Column to Rafter



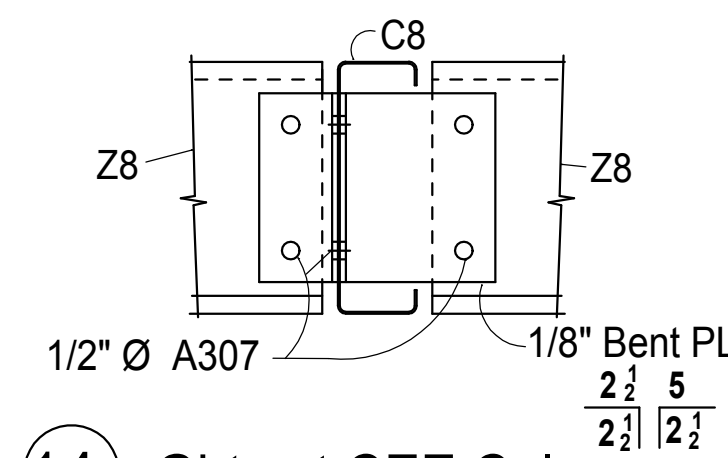
11 W16x40 Col Base



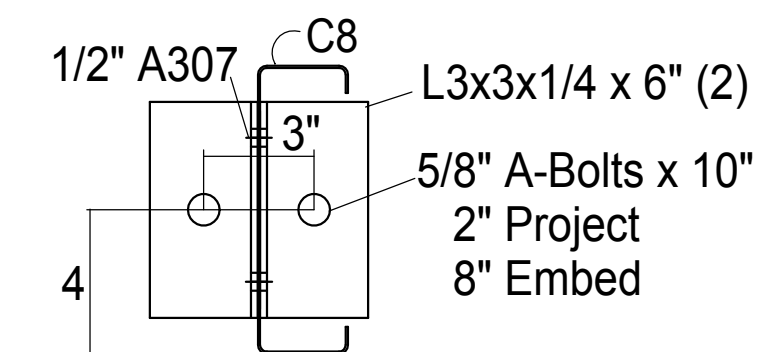
12 W14x34 Col Base



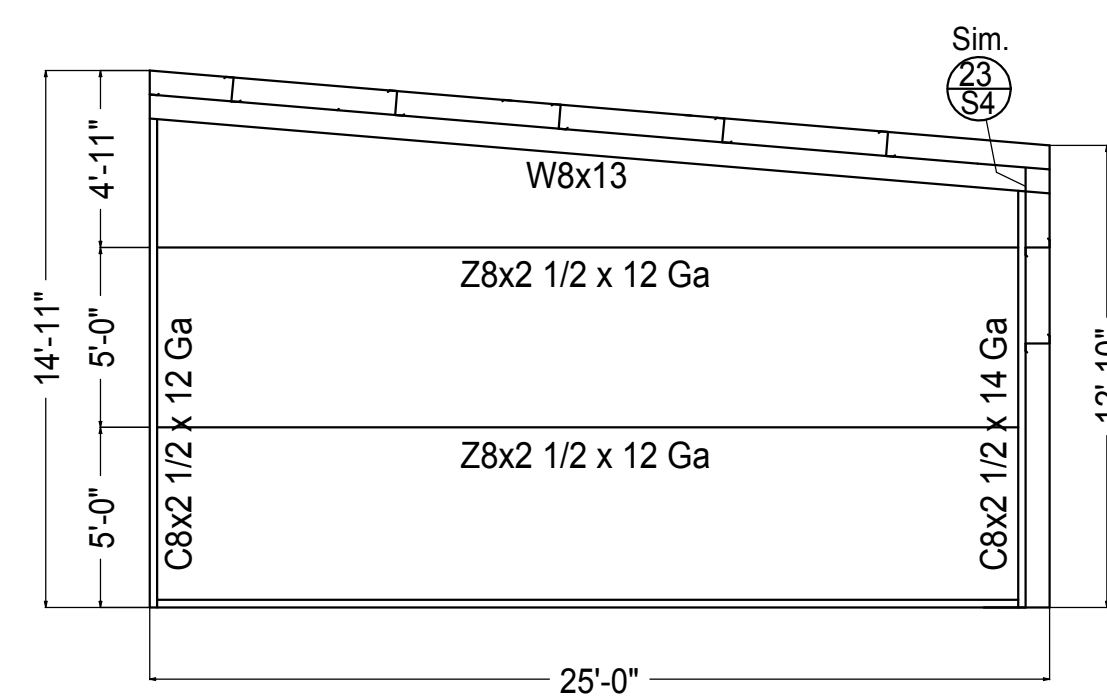
13 Girts at Corner Column



14 Girts at CEE Column

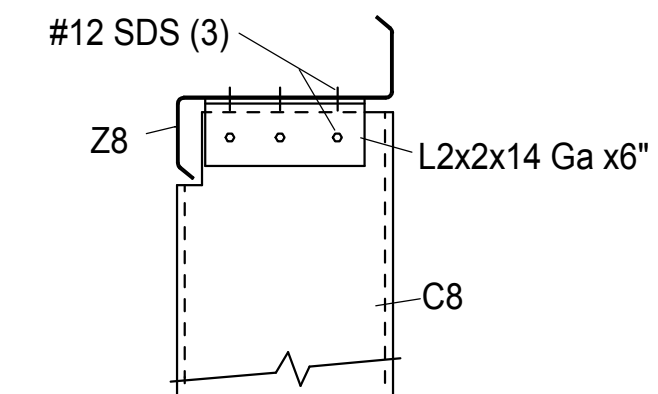


15 Cee Col Base

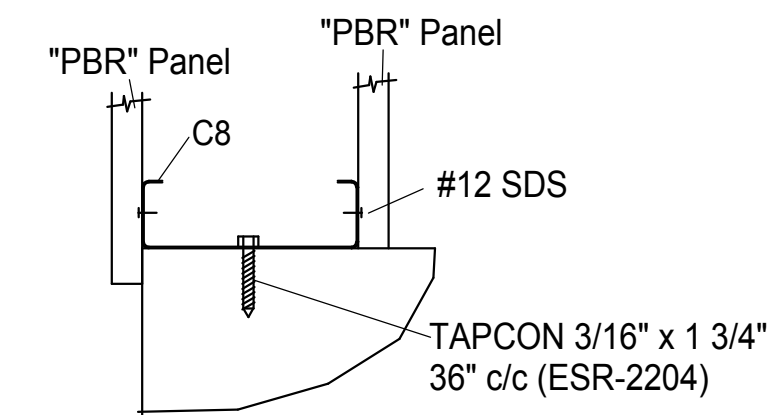


DOCK COVER SOUTH ELEVATION

Sheet Wall with 26 Ga "PBR" panels.
Use #12 TEKS at 1'-0 cc all cross supports
and #14 TEKS @ 1'-6 on edge members &
sidelaps. Use #12 TEKS @ 6" cc all panel ends.
Line Interior to 8'-0" with 26 Ga "PBR" Panels.



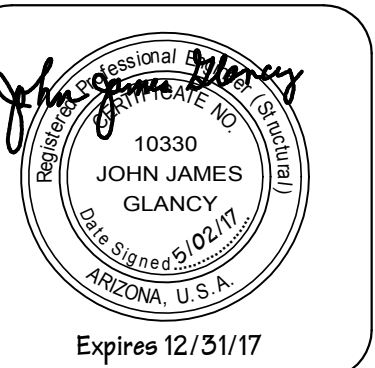
16 Jamb to Zee Girt



17 Base Cee at Liner Panels

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ARCHITECTURE & PLANNING

Elevations & Sections

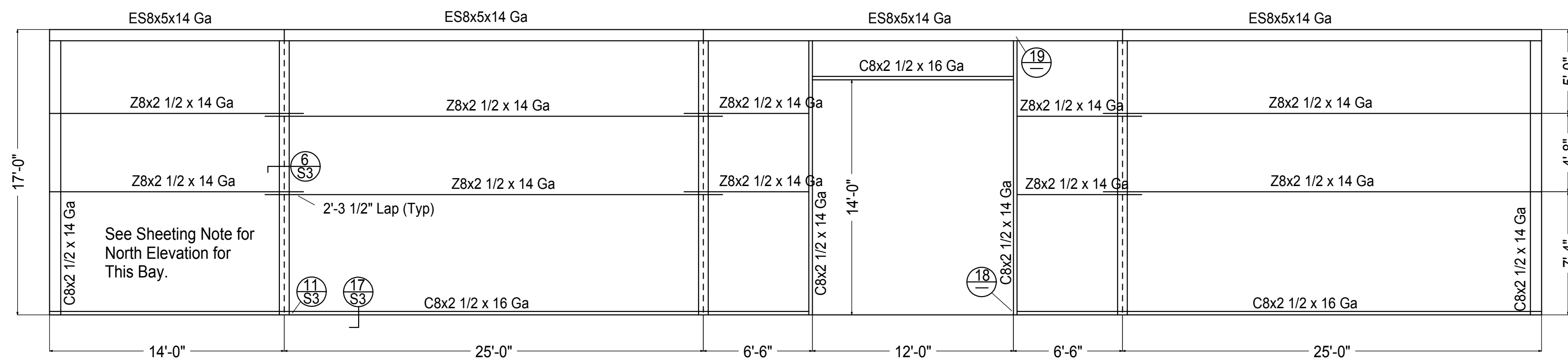
DRAWING:

PROJECT:

Builders FirstSource
6601 E. 2nd Street
Prescott Valley, AZ 86314

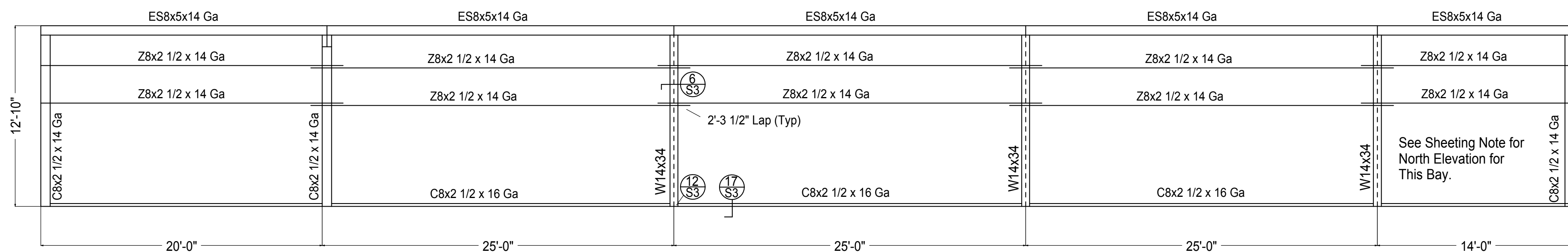
DRAWN BY JJG
CHECKED BY JJG
DATE 5/02/17
SCALE 3/16" = 1'-0"
JOB NO. 699
SHEET

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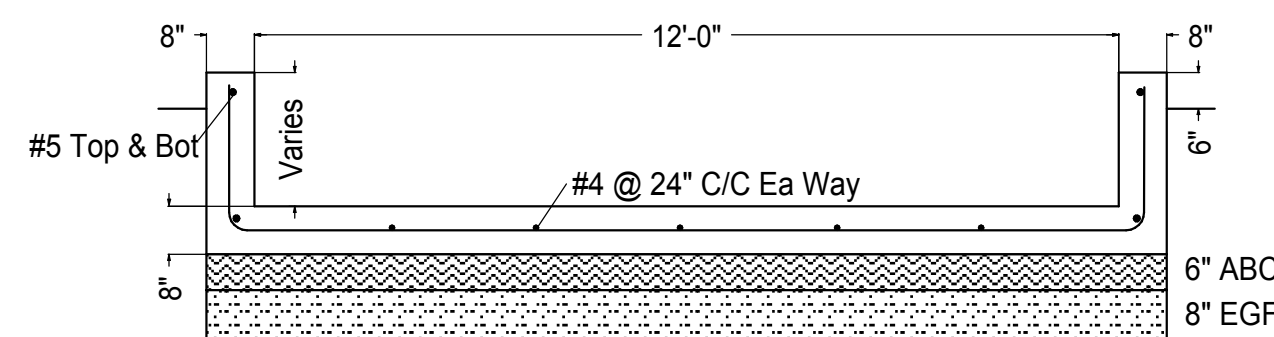


WEST ELEVATION

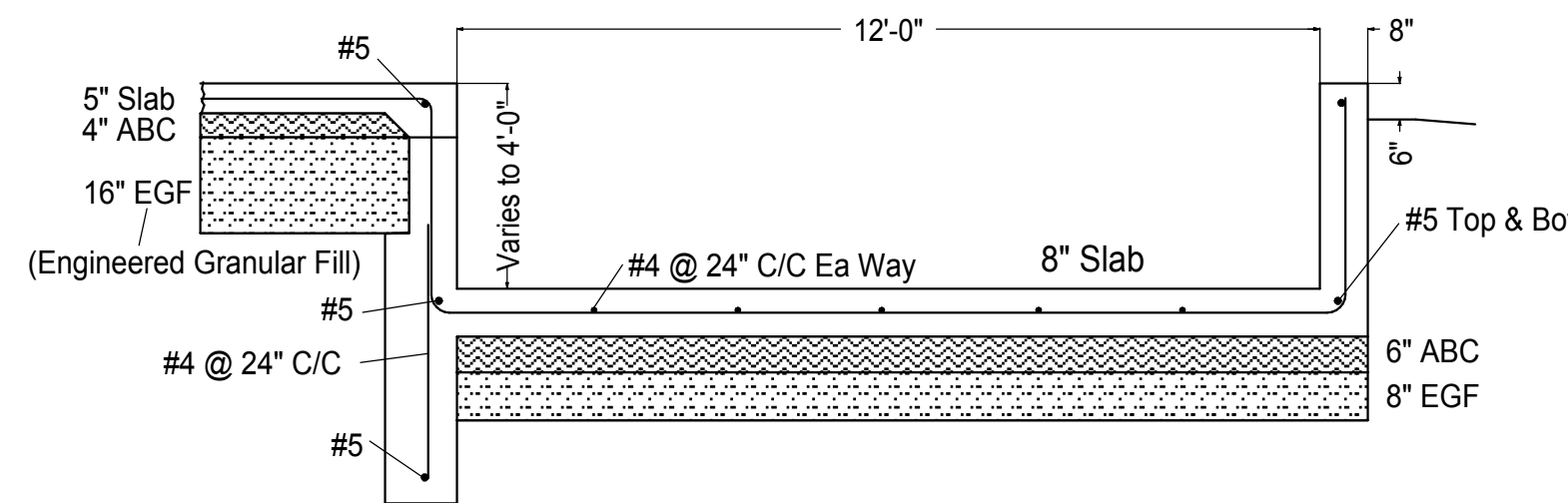
Sheet Walls with 26 Ga "PBR" panels.
Use #12 TEKS at 1'-0 cc all cross supports
and #14 TEKS @ 1'-6 on edge members &
sidelaps. Use #12 TEKS @ 6" cc all panel ends.
Line Interior to 8'-0" with 26 Ga "PBR" Panels.



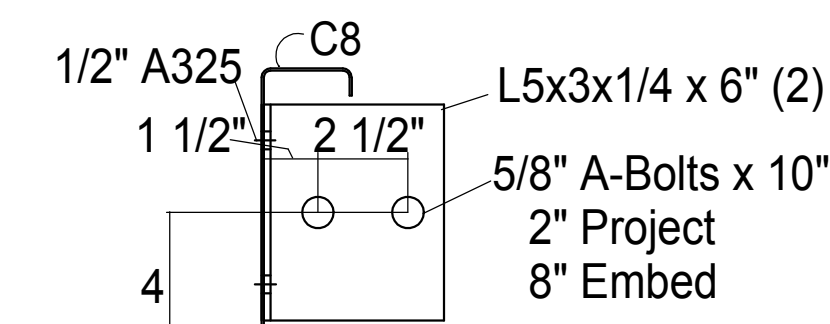
EAST ELEVATION



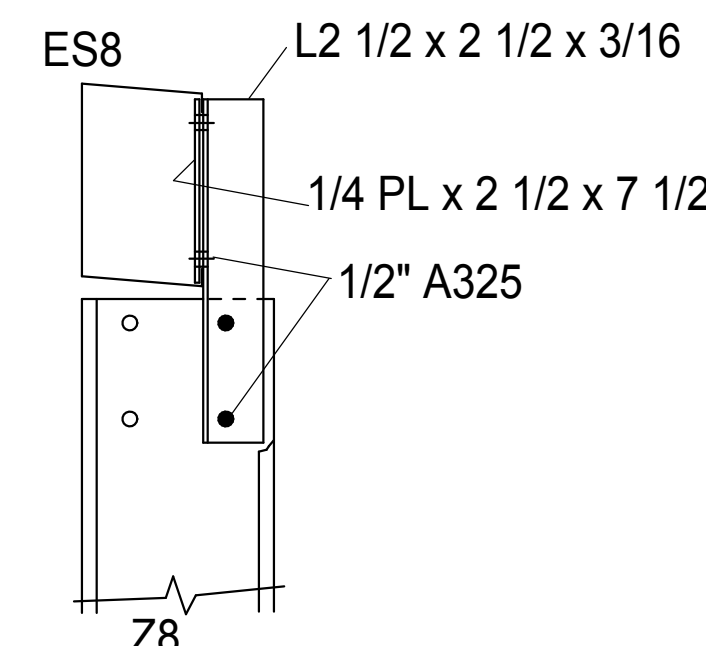
21 Truck Well Section



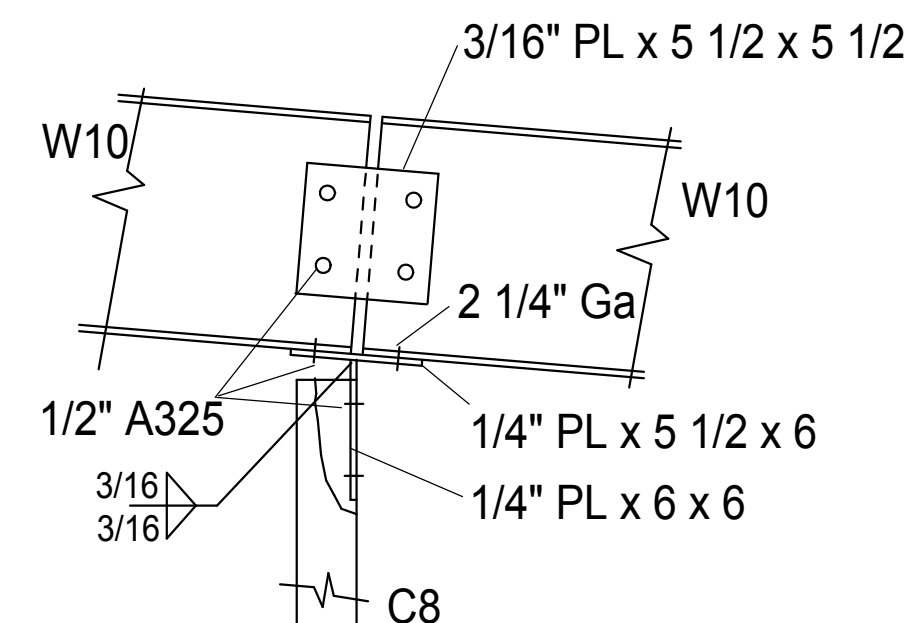
22 Truck Well Section



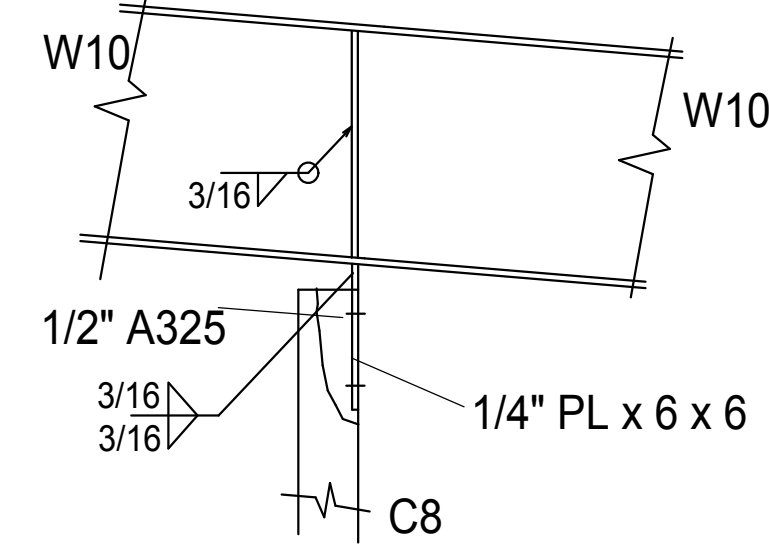
18 Jamb Col Base



19 Jamb to Eave Strut



20 Jamb to Rafter



23 Jamb to Rafter

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ARCHITECTURE & PLANNING

Elevations

DRAWING:

PROJECT:

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6601 E. 2nd Street
Prescott Valley, AZ 86314

DRAWN BY JJG
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DATE 5/02/17
SCALE 3/16" = 1'-0"
JOB NO. 699
SHEET

S - 4

GENERAL REQUIREMENTS

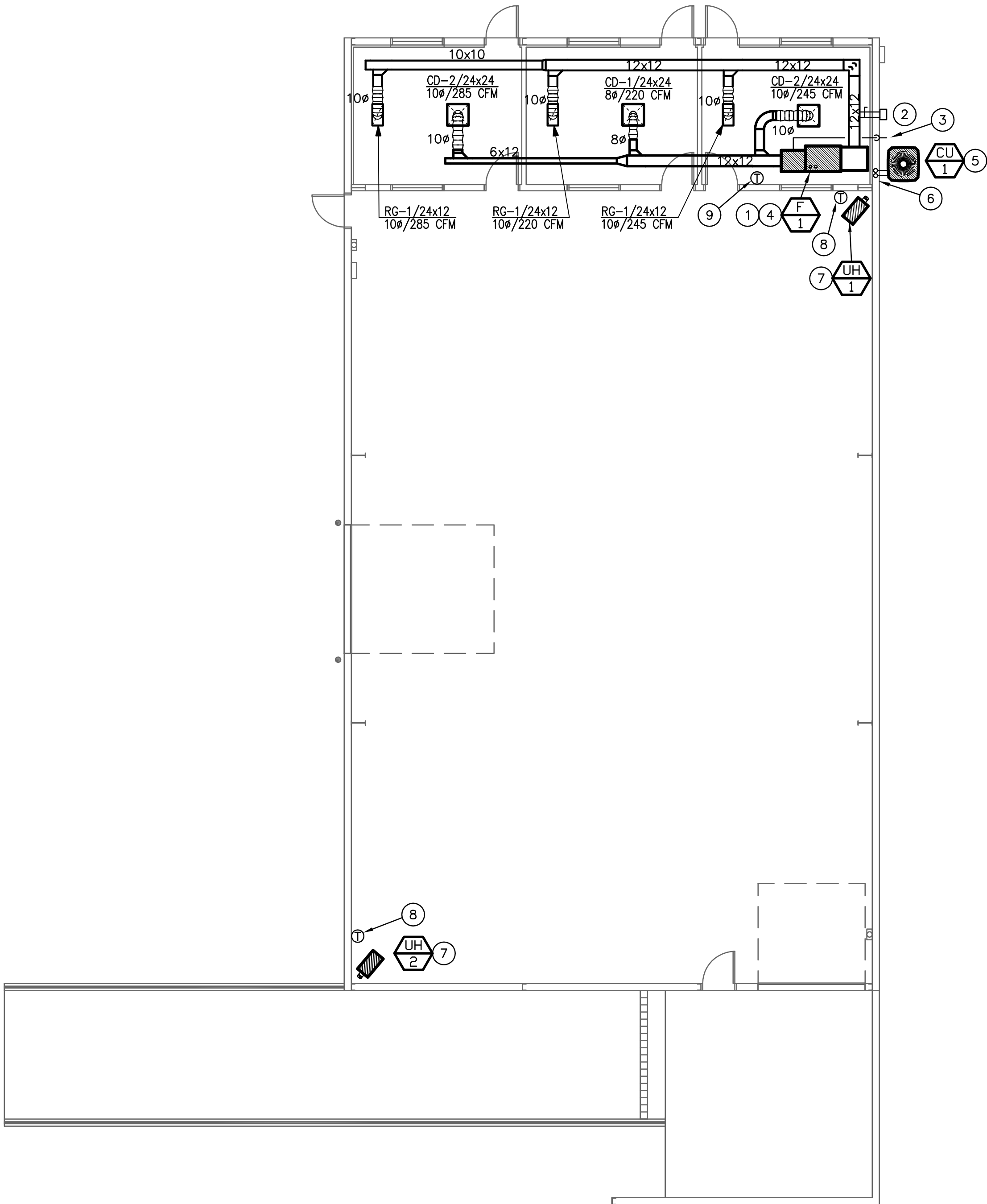
- 1 – PROVIDE VIBRATION ISOLATORS FOR ALL MECHANICAL EQUIPMENT SUPPORTED FROM STRUCTURE.
- 2 – PROVIDE CLEARANCES AS PER MANUFACTURER’S RECOMMENDATIONS.
- 3 – PITCH CONDENSATE DRAIN LINE 1/8” PER 12” RUN TOWARDS TERMINATION. INSULATE IN CONDENSATE DRAIN LINE WITH 3/8" CLOSED CELL "ARMIFLEX" TUBE INSULATION, TO PREVENT CONDENSATE DRIP.
- 4 – PROVIDE EQUIPMENT IDENTIFICATION PER IMC 2012.
- 5 – THE CONTRACTOR SHALL DO ALL NECESSARY CUTTING OF WALLS AND CEILING. NO STRUCTURAL MEMBER SHALL BE CUT WITHOUT PERMISSION FROM THE ARCHITECT. PATCH AROUND ALL OPENINGS TO MATCH EXISTING CONSTRUCTION.
- 6 – PRIOR TO THE CONTRACTOR ORDERING OR SETTING ANY AIR CONDITIONING EQUIPMENT, DUCTWORK, OR AIR DEVICE, HE SHALL VERIFY LOCATION OF PLACEMENT WITH STRUCTURAL DRAWINGS AND CONFIRM WEIGHTS, DISCHARGE CONFIGURATION, SIZES, ELECTRICAL CHARACTERISTICS AND ANY OTHER DIMENSIONAL DATA WHICH MIGHT AFFECT THE SUCCESSFUL INSTALLATION OF THE EQUIPMENT.
- 7 – KEEP ALL VENTS THROUGH ROOF AND EXHAUST DISCHARGE DUCTS A MINIMUM OF 10’-0” FROM OUTSIDE AIR INTAKES OR WINDOWS AND FROM ALL VERTICAL PORTIONS OF THE BUILDING.
- 8 – UPON COMPLETION AND TESTING OF AIR CONDITIONING EQUIPMENT, THE CONTRACTOR SHALL REPLACE ALL CONSTRUCTION AIR FILTERS WITH NEW FILTERS OF THE SIZED SPECIFIED BY THE MANUFACTURER.

DUCT CONSTRUCTION NOTES

- 1 – ALL DUCTWORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH "ASHRAE GUIDE" AND "SMACNA STANDARDS" AND IN CONFORMANCE WITH REQUIREMENTS OF LOCAL BUILDING, MECHANICAL AND ENERGY CONSERVATION CODES. WHERE MORE THAN ONE REGULATION OR CODE APPLIES, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- 2 – FLEXIBLE DUCTWORK SHALL COMPLY WITH THE CLASS I REQUIREMENTS OF THE NFPA BULLETIN NO. 90A AND SHALL BE INSULATED WITH 1" FIBERGLASS, SUPPORTED BY HELICALLY WOUND STEEL WIRE WITH REINFORCED METALIZED OUTER JACKET RATED FOR USE IN PLENUMS. ATTACHMENT SHALL BE WITH WORM DRIVE CLAMPS. LENGTH SHALL NOT EXCEED 6'-0"
- 3 – PROVIDE MANUAL BALANCING DAMPER AT EACH BRANCH DUCT TAKE OFF.
- 4 – ALL DUCTWORK JOINTS, LONGITUDINAL AND TRANSVERSE SEAMS AND CONNECTION ON DUCTWORK SHALL BE LISTED AND LABELED BY UL 181A OR 181B TAPES AND MASTICS.
- 5 – PROVIDE RADIUS ELBOWS, TURNING VANES, AND SPLITTER DAMPERS IN BRANCHES AND EXTRACTORS WHERE APPLICABLE.
- 6 – TURNING VANES SHALL BE INSTALLED IN ALL MITERED ELBOWS.
- 7 – TAKE-OFF FITTINGS SHALL BE CONICAL OR BELL MOUTH TYPE WITH BALANCING DAMPER.
- 8 – BRANCH DUCT SERVING DIFFUSERS SHALL BE SAME SIZE AS NECK DIAMETER.
- 9 – ALL DUCT DIMENSIONS SHOWN ARE INSIDE CLEAR DIMENSIONS. IF DUCT LINER IS USED FOR INSULATION, CONTRACTOR SHALL INCREASE DUCT SIZE ACCORDINGLY.
- 10 – HANGERS FOR SHEET METAL DUCTWORK SHALL BE INSTALLED AS REQUIRED BY 2012 IMC.

COORDINATION NOTES

- 1 – COORDINATE OPENING'S FOR GRILLES, REGISTERS, DIFFUSERS AND DUCTWORK WITH FRAMING CONTRACTOR PRIOR TO ROUGH-IN.
- 2 – COORDINATE EXACT LOCATION OF ALL GRILLES, REGISTERS AND DIFFUSERS WITH ARCHITECTURAL PLANS.
- 3 – LIGHTING & SPRINKLER HEADS TAKE PRECEDENCE OVER DIFFUSER LOCATION. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS TO DIFFUSERS TO AVOID ANY CONFLICT WITH LIGHTING LAYOUT & SPRINKLER HEADS.
- 4 – CONTRACTOR TO COORDINATE ALL FINAL THERMOSTAT LOCATIONS WITH OWNER & ARCHITECT PRIOR TO MOUNTING.
- 5 – ALL THERMOSTATS ARE TO BE MOUNTED AT A HEIGHT OF 48" ABOVE THE FLOOR LEVEL FOR DISABLED ACCESS.



M1 Mechanical Plan

Scale: 1/8"=1'-0"



KEYNOTES

- 1 NEW HORIZONTAL NATURAL GAS FURNACE SUPPORTED FROM STRUCTURE ABOVE CEILING. MAINTAIN ALL NECESSARY CLEARANCES AND MAINTENANCE ACCESS REQUIREMENTS. ROUTE AND CONNECT REFRIGERANT LINES FROM CONDENSING UNIT.
- 2 EXTEND 6ø OUTSIDE AIR DUCT FROM UNIT RETURN PLENUM TO WALL, INTAKE AND BALANCE OUTSIDE AIR AS SHOWN ON FURNACE SCHEDULE. INTAKE HOOD TO BE 8"ø, GREENHECK WC-8. INTAKE SHALL BE A MINIMUM OF 10' FROM EXHAUST DISCHARGE.
- 3 EXTEND NEW 3/4" TYPE 'M' COPPER CONDENSATE DRAIN PIPING FROM UNIT CONNECTION AND ROUTE TO EXTERIOR. SLOPE ALL DRAIN PIPING AT A MINIMUM 1/8" PER FOOT TOWARD DISCHARGE LOCATION.
- 4 PVC COMBUSTION AIR INTAKE AND VENT PIPING UP THROUGH ROOF TO CONCENTRIC TERMINATION PER MANUFACTURER. SHALL BE IN ACCORDANCE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR THE INSTALLED LENGTH AND FITTINGS.
- 5 NEW CONDENSING UNIT ON 4" CONCRETE PAD. PROVIDE CLEARANCES AS PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE FINAL LOCATION WITH ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO COMMENCING WORK.
- 6 SLEEVE REFRIGERANT LINES THROUGH INTO WALL AND ROUTE UP INTO CEILING SPACE AND TO FAN-COIL UNIT. SIZE AND INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
- 7 GAS-FIRED UNIT HEATER SUPPORTED FROM STRUCTURE, WITH TYPE "B" FLUE UP THROUGH ROOF. COORDINATE UNIT HEATER MOUNTING HEIGHT.
- 8 PROVIDE UNIT HEATER WITH LOW VOLTAGE THERMOSTAT WITH INSULATED SUB-BASE.
- 9 PROVIDE HEATING/COOLING PROGRAMMABLE THERMOSTAT ON WALL AT 48" ABOVE FINISHED FLOOR. VERIFY EXACT LOCATION AND MOUNTING HEIGHT WITH ARCHITECT/OWNER.



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REVISIONS	BY

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ARCHITECTURE & PLANNING

DRAWING: Mechanical Floor Plan

PROJECT: Builders FirstSource
6601 E. 2nd St.
Prescott Valley, AZ 86314

APN: 103-08-043F

DRAWN BY
CHECKED BY
DATE
JOB NO. 699
SHEET

M1.1

MECHANICAL SPECIFICATIONS

GENERAL REQUIREMENTS

GENERAL PROVISIONS WHICH MAKE SPECIFIC REFERENCE TO ELECTRICAL DIVISION ONLY ARE INCLUDED HEREIN FOR CLARITY AND SIMPLIFICATION OF SPECIFICATIONS WRITING AND ARE NOT PART OF THE MECHANICAL WORK. THE WORK OF DIVISION 15, MECHANICAL, IS SUBJECT TO THE CONDITIONS OF THE CONDITIONS OF THE CONTRACT, DIVISION 1, GENERAL REQUIREMENTS, AND APPLICABLE REQUIREMENTS OF OTHER PORTIONS OF THE CONTRACT DOCUMENTS. EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS AND COORDINATE THE MECHANICAL WORK ACCORDINGLY.

INTENT

IT IS THE INTENTION OF THE SPECIFICATIONS AND DRAWINGS TO CALL FOR FINISHED WORK, TESTED AND READY FOR OPERATION. ANY APPARATUS, APPLIANCE, MATERIAL OR WORK NOT SHOWN ON THE DRAWINGS, BUT MENTIONED IN THE SPECIFICATIONS OR VICE VERSA, OR ANY INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE AND READY FOR OPERATION, EVEN IF NOT PARTICULARLY SPECIFIED, SHALL BE PROVIDED WITHOUT ADDITIONAL EXPENSE TO THE OWNER. SHALL THERE APPEAR TO BE DISCREPANCIES OR QUESTIONS OF INTENT IN THE CONTRACT DOCUMENTS, REFER THE MATTER TO THE ARCHITECT FOR HIS DECISION BEFORE ORDERING ANY MATERIALS OR EQUIPMENT OR BEFORE THE START OF ANY RELATED WORK. THE DECISION OF THE ARCHITECT SHALL BE FINAL, CONCLUSIVE AND BINDING.

DRAWINGS AND DATA

DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ARE INTENDED TO CONVEY SCOPE OF WORK AND TO INDICATE GENERAL ARRANGEMENT OF EQUIPMENT, DUCTS, CONDUITS, PIPING AND FIXTURES. THEY ARE NOT INTENDED TO SHOW EVERY OFFSET OR FITTINGS OR EVERY STRUCTURAL DIFFICULTY THAT MAY BE ENCOUNTERED DURING INSTALLATION OF THE WORK. LOCATION OF ALL ITEMS NOT DEFINITELY FIXED BY DIMENSIONS ARE APPROXIMATE ONLY. EXACT LOCATIONS NECESSARY TO SECURE BEST CONDITIONS AND RESULTS MUST BE DETERMINED AT PROJECT AND SHALL HAVE APPROVAL OF ARCHITECT BEFORE BEING INSTALLED. DO NOT SCALE DRAWINGS. IF SO DIRECTED BY ARCHITECT, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN LAYOUT AS NEEDED TO PREVENT CONFLICT WITH WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF WORK. INCLUDE MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER INSTALLATION AND OPERATION OF A SYSTEM OR PIECE OF EQUIPMENT IN BID PRICE.

CODES

INCLUDE IN WORK, WITHOUT EXTRA COST TO OWNER, LABOR, MATERIALS, SERVICES, APPARATUS, DRAWINGS (IN ADDITION TO CONTRACT DRAWINGS AND DOCUMENTS) REQUIRED TO COMPLY WITH APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS. DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE WHEN THEY ARE MORE STRINGENT THAN CODES, ORDINANCES, STANDARDS AND STATUTES. CODES, ORDINANCES, STANDARDS AND STATUTES TAKE PRECEDENCE WHEN THEY ARE MORE STRINGENT OR CONFLICT WITH DRAWINGS OR SPECIFICATIONS. FOLLOWING INDUSTRY STANDARDS, SPECIFICATIONS AND CODES ARE MINIMUM REQUIREMENTS:

- A. APPLICABLE CITY, COUNTY, AND STATE MECHANICAL, ELECTRICAL, GAS, PLUMBING, HEALTH AND SANITARY CODES, LAWS AND ORDINANCES.
- B. 2012 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS.

GENERAL

MATERIALS AND EQUIPMENT STANDARD PRODUCTS OF A REPUTABLE MANUFACTURER REGULARLY MANUFACTURING THE SPECIFIED ITEMS. WHERE MORE THAN ONE UNIT IS REQUIRED OF ANY ITEM, FURNISH BY THE SAME MANUFACTURER, EXCEPT WHERE SPECIFIED OTHERWISE. INSTALL MATERIAL AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. SHOULD VARIANCE BETWEEN PLANS AND SPECIFICATIONS OCCUR WITH THESE, CONTACT ARCHITECT IMMEDIATELY SO THAT VARIATIONS IN INSTALLATION CAN BE KNOWN BY ALL PARTIES CONCERNED. PROVIDE EQUIPMENT FROM MANUFACTURER WHOSE PRODUCTS HAVE LOCAL REPRESENTATION.

EXECUTION

PROTECT EXISTING ACTIVE SERVICES (WATER, GAS, SEWER, ELECTRIC) WHEN ENCOUNTERED, AGAINST DAMAGE FROM CONSTRUCTION WORK. DO NOT PREVENT OR DISTURB OPERATION OF ACTIVE SERVICES WHICH ARE TO REMAIN. IF WORK MAKES TEMPORARY SHUTDOWNS OF SERVICES UNAVOIDABLE, CONSULT WITH OWNER AS TO DATES, PROCEDURES, AND ESTIMATED DURATION OF AT LEAST 10 WORKING DAYS IN ADVANCE OF DATE WHEN WORK IS TO BE PERFORMED. ARRANGE WORK FOR CONTINUOUS PERFORMANCE TO ASSURE THAT EXISTING OPERATING SERVICES WILL BE SHUT DOWN ONLY DURING THE TIME REQUIRED TO MAKE NECESSARY CONNECTIONS. IF A SYSTEM CANNOT SHUT DOWN, INSTALL TEMPORARY BYPASSES OR JUMPERS UNTIL CONNECTIONS ARE COMPLETE. CONTRACTOR RESPONSIBLE FOR ALL COSTS INCURRED BY ABOVE SHUTDOWNS, INCLUDING BYPASS OR JUMPER INSTALLATIONS, FOR WORK PERFORMED UNDER THIS SECTION. IF EXISTING ACTIVE UTILITY SERVICES ARE ENCOUNTERED WHICH REQUIRE RELOCATION, MAKE REQUEST TO PROPER AUTHORITIES FOR DETERMINATION OF PROCEDURES. PROPERLY TERMINATE EXISTING SERVICES TO BE ABANDONED IN CONFORMANCE WITH REQUIREMENTS OF AUTHORITIES. WHERE CONNECTIONS OR DISRUPTIONS ARE MADE TO EXISTING SYSTEMS, REACTIVATE, REFILL, AND RECHARGE ALL COMPONENTS AND RESTORE SYSTEMS TO OPERATING CONDITIONS AT TIME OF DISRUPTION.

GUARANTEE

EACH COMPLETE SYSTEM GUARANTEED BY CONTRACTOR FOR A PERIOD OF ONE YEAR, FROM DATE OF ACCEPTANCE OF WORK BY OWNER WRITING, TO BE FREE OF DEFECTS OF MATERIALS AND WORKMANSHIP, AND TO PERFORM SATISFACTORILY UNDER ALL CONDITIONS OF LOAD OR SERVICE. THE GUARANTEES PROVIDE THAT ANY ADDITIONAL CONTROLS, PROTECTIVE DEVICES, OR EQUIPMENT BE PROVIDED AS NECESSARY TO MAKE THE SYSTEM OF EQUIPMENT OPERATE SATISFACTORILY, AND THAT ANY FAULTY MATERIALS OR WORKMANSHIP BE REPLACED OR REPAIRED. ON FAILURE OF GUARANTOR TO DO THE ABOVE AFTER WRITTEN NOTICE FROM OWNER, THE OWNER MAY HAVE THE WORK DOWN AT THE COST OF GUARANTOR. LOSS OF REFRIGERANT IS CONSIDERED A DEFECT IN WORKMANSHIP AND/OR EQUIPMENT, TO BE CORRECTED AS REQUIRED AT NO EXTRA COST TO THE OWNER.

PROVIDE EXTENDED FIVE (5) YEAR FACTORY PARTS & LABOR WARRANTY ON ALL AIR CONDITIONING COMPRESSORS.

AIR CONDITIONING, HEATING AND VENTILATING

SCOPE

WORK UNDER THIS SECTION INCLUDES FURNISHING ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE REMODELING, INSTALLATION AND PLACING INTO OPERATION THE HEATING, VENTILATING AND AIR CONDITIONING WORK AS SPECIFIED HEREIN AND INDICATED ON THE DRAWINGS.

VERIFICATION OF DIMENSIONS:

SCALED AND FIGURED DIMENSIONS ARE APPROXIMATE ONLY. BEFORE PROCEEDING WITH WORK, CAREFULLY CHECK AND VERIFY AT THE SITE, AND RESPONSIBLE FOR PROPERLY FITTING EQUIPMENT AND MATERIALS TOGETHER AND TO THE STRUCTURE IN SPACES PROVIDED. DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND MANY OFFSETS, BENDS, SPECIAL FITTINGS AND EXACT LOCATIONS ARE NOT INDICATED. CAREFULLY STUDY DRAWINGS AND PREMISES IN ORDER TO DETERMINE BEST METHODS, EXACT LOCATIONS, ROUTES AND BUILDING OBSTRUCTIONS, PRESERVE HEADROOM, AND KEEP OPENINGS AND PASSAGEWAYS CLEAR.

CUTTING AND PATCHING:

CUT EXISTING WORK AND PATCH AS NECESSARY TO PROPERLY INSTALL THE NEW WORK. AS THE WORK PROGRESSES, LEAVE NECESSARY OPENINGS, HOLES AND CHASES, ETC., IN THEIR CORRECT LOCATIONS. IF THE REQUIRED OPENINGS, HOLES AND CHASES ETC., ARE NOT IN THEIR CORRECT LOCATIONS, MAKE THE NECESSARY CORRECTIONS AT NO COST TO THE OWNER. AVOID EXCESSIVE CUTTING AND DO NOT CUT STRUCTURAL MEMBERS WITHOUT CONSENT OF ARCHITECT.

REGULATIONS, PERMITS & INSPECTIONS

COMPLY WITH ALL APPLICABLE CODES, RULES AND REGULATIONS. ALL MATERIALS, EQUIPMENT AND WORK MUST CONFORM TO THE INTERNATIONAL MECHANICAL CODE. OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND LICENSES. WHEN REQUIRED BY CODE, ALL WORK MUST BE INSPECTED AND APPROVED BY LOCAL AUTHORITIES.

DUCTWORK

ALL DUCTWORK FABRICATED AS PER LATEST INTERNATIONAL MECHANICAL CODE REQUIREMENTS AND SMACNA MANUAL. EXTENSION OF EXISTING DUCTWORK SHALL BE MADE WITH SAME MATERIAL. DUCTWORK SHALL BE CONSTRUCTED OF NEW HOT-DIPPED GALVANIZED SHEET METAL ASTM A-120 FOR EACH SIDE, WITH 1", 1 1/2 LB. DENSITY DUCT LINER. TAPE ALL CROSS-JOINTS IN SHEET METAL DUCT WITH HARDCAST. TAKE-OFF FITTINGS SHALL BE CONICAL SPIN-IN WITH QUADRANT DAMPER. TURNING VANES SHALL BE INSTALLED IN ALL MITERED ELBOWS. DUCT INSULATION: ACCEPTABLE MANUFACTURERS: CSG, JOHNS-MANSVILLE.

FLEXIBLE DUCT
FLEXIBLE DUCT MAY BE USED FOR FINAL CONNECTION TO AIR DISTRIBUTION DEVICES, BUT SHALL NOT EXCEED 6 FEET IN LENGTH. FLEXIBLE DUCT SHALL HAVE A MINIMUM R-5 INSULATION VALUE.

DUCT INSULATION

DUCT SIZES ON DRAWINGS ARE "CLEAR INSIDE." INCREASE SHEET METAL SIZES ACCORDINGLY FOR LINED DUCTWORK. ADHESIVE AND INSULATING MATERIALS SHALL HAVE COMPOSITE FIRE AND SMOKE HAZARD RATINGS MAXIMUM 25 FOR FLAME SPREAD AND 50 FOR SMOKE DEVELOPED. ADHESIVES SHALL BE WATERPROOF.

LINED DUCTWORK – SEMI-RIGID GLASS FIBER INSULATION, 1 1/2 PCF, 1 1/2" THICK, THERMAL CONDUCTIVITY AT 75°. MAXIMUM 0.17 BTU/IN./SQ. FT./DEG./HR. MINIMUM "R-VALUE" SHALL BE 6.0.

WRAPPED DUCTWORK – FIBER GLASS BLANKET WITH FRK VAPOR RETARDING FACING. 1 1/2 PCF, 2" THICK, WITH A MINIMUM INSTALLED "R-VALUE" OF 6.0. (ASSUMES 25% COMPRESSION)

ACCEPTABLE MANUFACTURERS

THE FOLLOWING IS A LIST OF MANUFACTURERS WHOSE EQUIPMENT AND HVAC MATERIALS ARE ACCEPTABLE, SUBJECT TO CONFORMANCE WITH CONTRACT DOCUMENTS. VERIFY THAT THE EQUIPMENT WILL MEET ALL CAPACITIES SPACE ALLOCATIONS, AND THAT THE WEIGHTS WILL NOT EXCEED STRUCTURAL DESIGN LOADS.

FURNACE AND CONDENSERS: CARRIER, TRANE, YORK.
UNIT HEATERS: STERLING, MODINE, REZNOR.
GRILLES, REGISTERS, DIFFUSERS: KRUEGER, METAL-AIRE, TITUS, FLEXIBLE DUCT: GENFLEX, THERMAFLEX, OR EQUIVALENT.
EXHAUST FANS: GREENHECK, LOREN COOK AND PENN VENTILATOR.
DUCT AND PIPE INSULATION: KNAUF, OWENS-CORNING, MANVILLE, CERTAIN-TEED, PPG.

EXHAUST FANS

SIZE, CAPACITIES, AND TYPE AS INDICATED ON THE DRAWINGS. FURNISH COMPLETE WITH FACTORY CURBS/ROOF CAPS, BAROMETRIC DAMPER, SPEED CONTROL, DISCONNECT, STARTER (IF REQUIRED), AND BIRDSCREEN. FURNISH ROOF MOUNTED FANS WITH INSULATED ROOF CURB; PROVIDE CEILING MOUNTED FANS WITH WALL/ROOF CAP.

AIR SYSTEM BALANCING

AIR SYSTEMS AND AIR DISTRIBUTION TEST AND BALANCE: THE CONTRACTOR SHALL INCLUDE IN HIS BID TESTING AND AIR BALANCE OF AIR MOVING EQUIPMENT AND AIR DISTRIBUTING OR EXHAUSTING SYSTEMS AS HEREIN SPECIFIED. PROVIDE CERTIFIED REPORT TO ARCHITECT.

CONDENSING UNIT SCHEDULE

MARK	NOMINAL TONS	MFG'R	MODEL #	COOLING CAPACITY		DESIGN COND. DB/WB	INDOOR COIL MODEL #	COIL ENT. AIR DB/WB	ELECTRICAL DATA			MINIMUM SEER	REFRIGERANT	NOTES
				TOTAL	SENS.				MCA	FUSE	V / Ø			
CU-1	2	GOODMAN	GSX16024	21.9	17.5	95/67	SELECTED BY MFG.	76°/62°	18.0	30	208/230 1Ø	16	R-410A	①②③④⑤⑥⑦
<div>① INSTALL UNIT PER MANUFACTURER'S WRITTEN DIRECTIONS. SLEEVE PIPING PENETRATIONS THROUGH ROOF, SEAL WATERTIGHT AND PROVIDE ESCUTCHEONS.</div> <div>② UNIT SHALL BE PROVIDED WITH TRANE XL800 PROGRAMMABLE THERMOSTAT.</div> <div>③ PROVIDE 10-YEAR COMPRESSOR WARRANTY AND 5-YEAR FOR OTHER COMPONENTS.</div> <div>④ PROVIDE CONTROL TRANSFORMER IN UNIT CONTROL PANEL. PROVIDE UNIT COMPLETE WITH WEATHERPROOF CONTROL PANEL WITH ALL NECESSARY OVERLOADS AND CONTROL COMPONENTS.</div> <div>⑤ RUN ALL REFRIGERANT PIPING FULL SIZE PER MFG'RS. INSTRUCTIONS.</div> <div>⑥ PROVIDE INDOOR FAN COIL UNIT COMPLETE WITH MOTOR STARTER.</div> <div>⑦ PROVIDE LOW AMBIENT CONTROL KIT FOR OPERATION DOWN TO 30°F.</div>														

FURNACE SCHEDULE

MARK	NOMINAL TONS	MFG'R	MODEL #	ORIENTATION	CFM	OSA	E.S.P. ("W.G.)	HEATING CAPACITY		VENT SIZE	VENTING TYPE	FUEL	Min. A.F.U.E.	ELECTRICAL DATA		FILTER TYPE	WEIGHT W/O COIL	NOTES
								INPUT	OUTPUT					H.P.	V/Ø/Hz			
F-1	2	GOODMAN	GCSS92060	HORIZONTAL	750	60	0.50	60,000	55,260	2"	2-PIPE SEALED	PROPANE	92%	1/3	120/1/60	DISPOSABLE	112	①②③④
<div>① INSTALL WITH CLEARANCES PER MANUFACTURER'S RECOMMENDATIONS.</div> <div>② SIZE AND INSTALL 2 PIPE VENT PIPING PER MANUFACTURER'S INSTRUCTIONS FOR ACTUAL INSTALLED LENGTHS. PROVIDE CONCENTRIC ROOF OR WALL TERMINATION AS REQUIRED.</div> <div>③ PROVIDE LEFT OR RIGHT CONNECTIONS AS REQUIRED FOR ACCESS.</div> <div>④ HORIZONTAL UNIT.</div>																		

UNIT HEATER SCHEDULE

EQUIP. NO.	MANUFACTURER	MODEL NO.	SERVICE/ LOCATION	BLOWER			MOTOR		HEATER			FLUE (DIA.)	WT. (LBS)	REMARKS
				CFM	ESP	MIN. THROW	HP	VOLTS/ PHASE	FUEL	MAX. INPUT MBH	MIN. OUTPUT MBH			
1	REZNOR	F-100	SERVICE BAY	1250	0	50'	1/30	120/1	PROPANE	100	80	5" OVAL	97	①②③
2	REZNOR	F-100	SERVICE BAY	1250	0	50'	1/30	120/1	PROPANE	100	80	5" OVAL	97	①②③
<div>① PROVIDE UNIT HEATER WITH LOW VOLTAGE THERMOSTAT WITH INSULATED SUB-BASE.</div> <div>② PROVIDE UNIT WITH ELECTRONIC SPARK IGNITION.</div> <div>③ PROVIDE UNIT WITH 2-POINT SUSPENSION KIT.</div>														

GRILLES/REGISTERS/DIFFUSERS SCHEDULE

MARK	DESCRIPTION	MODULE SIZE	TYPE	OBD	FRAME	MATERIAL	FINISH	MANUF.	MODEL	REMARKS
CD-1	SUPPLY DIFFUSER	24" x 24"	ROUND	NO	SURFACE	STEEL	WHITE	TITUS	TMS	8Ø NECK
CD-2	SUPPLY DIFFUSER	24" x 24"	ROUND	NO	SURFACE	STEEL	WHITE	TITUS	TMS	10Ø NECK
RG-1	RETURN GRILLE	24" x 12"	SINGLE DFL	NO	SURFACE	STEEL	WHITE	TITUS	350RFL	10Ø NECK, 1" FILTER

OUTSIDE AIR CALCULATION

Outside Air for Unit F-1

Space	Area	Occ Density	Rp	Pz	Ra	Az	Vbz
Office	609	5	5	3.045	0.06	609	51.8
Balance F-1 to 52 CFM							Total Net OSA Required 52

6.2.2.1 Breathing Zone Outdoor Airflow. The design outdoor airflow required in the *breathing zone* of the occupiable space or spaces in a *zone*, i.e., the *breathing zone outdoor airflow* (V_{bz}), shall be determined in accordance with Equation 6-1.

$$V_{bz} = R_p \cdot P_z + R_a \cdot A_z \quad (6-1)$$

where

A_z = *zone floor area*: the net occupiable floor area of the zone m² (ft²)

P_z = *zone population*: the largest number of people expected to occupy the zone during typical usage. If the number of people expected to occupy the zone fluctuates, P_z may be estimated based on averaging approaches described in Section 6.2.6.2

Note: If P_z cannot be accurately predicted during design, it shall be an estimated value based on the zone floor area and the default occupant density listed in Table 6-1.

R_p = outdoor airflow rate required per person as determined from Table 6-1

Note: These values are based on adapted occupants.

R_a = outdoor airflow rate required per unit area as determined from Table 6-1



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ARCHITECTURE & PLANNING

DRAWING: Mechanical Schedules

PROJECT: Builders FirstSource
6601 E. 2nd St.
Prescott Valley, AZ 86314

APN: 103-08-043F

DRAWN BY

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DATE

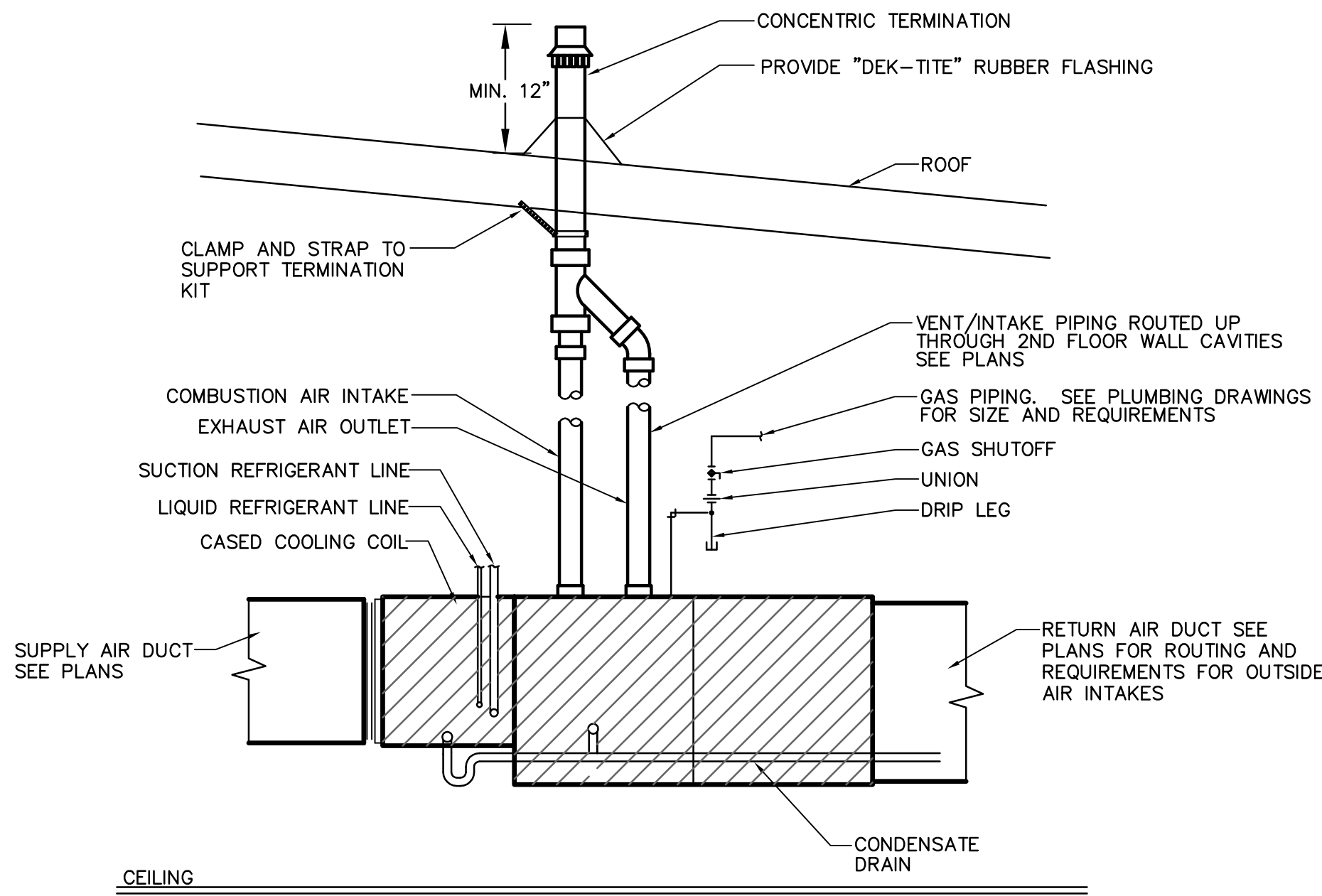
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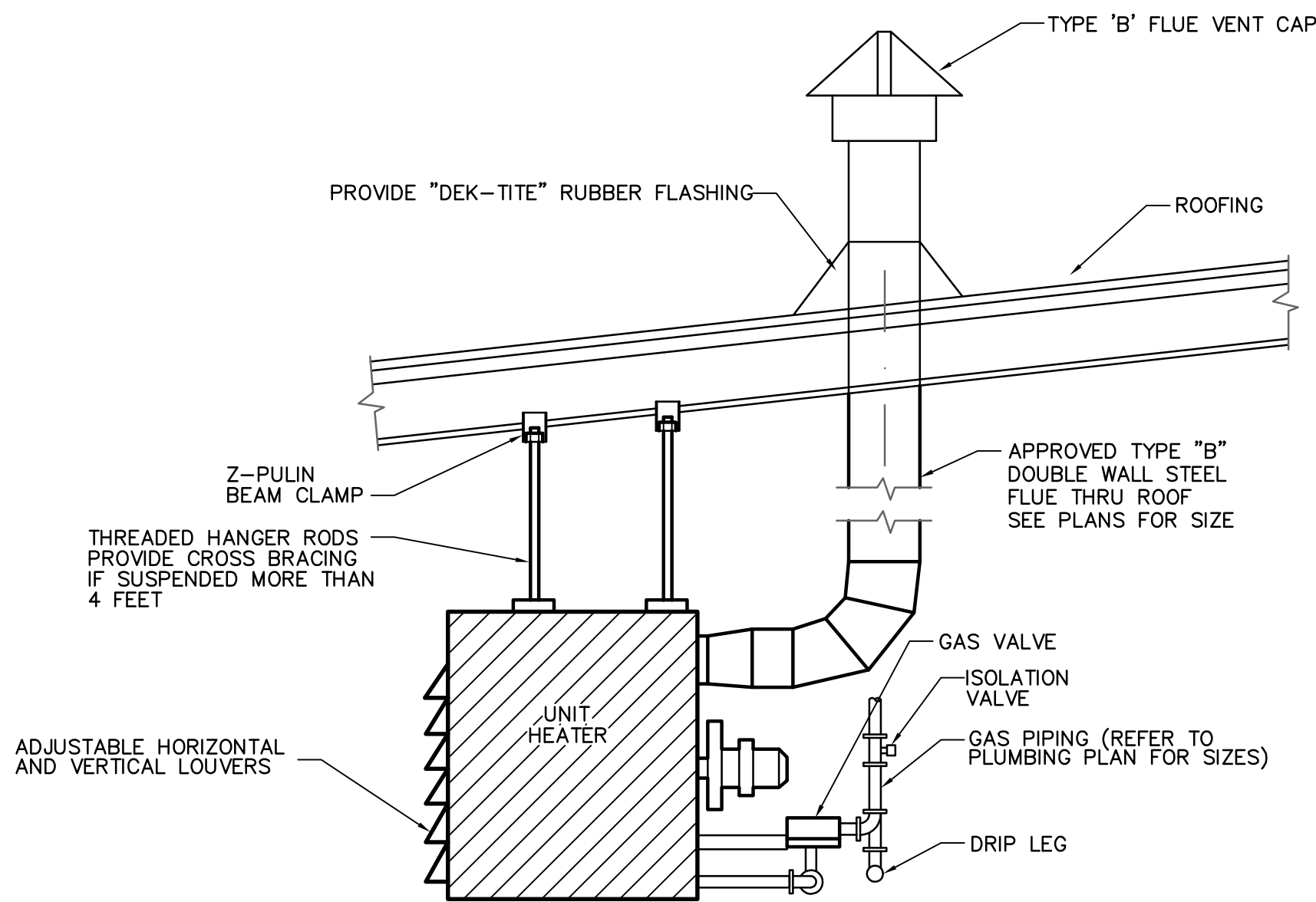
M2.1

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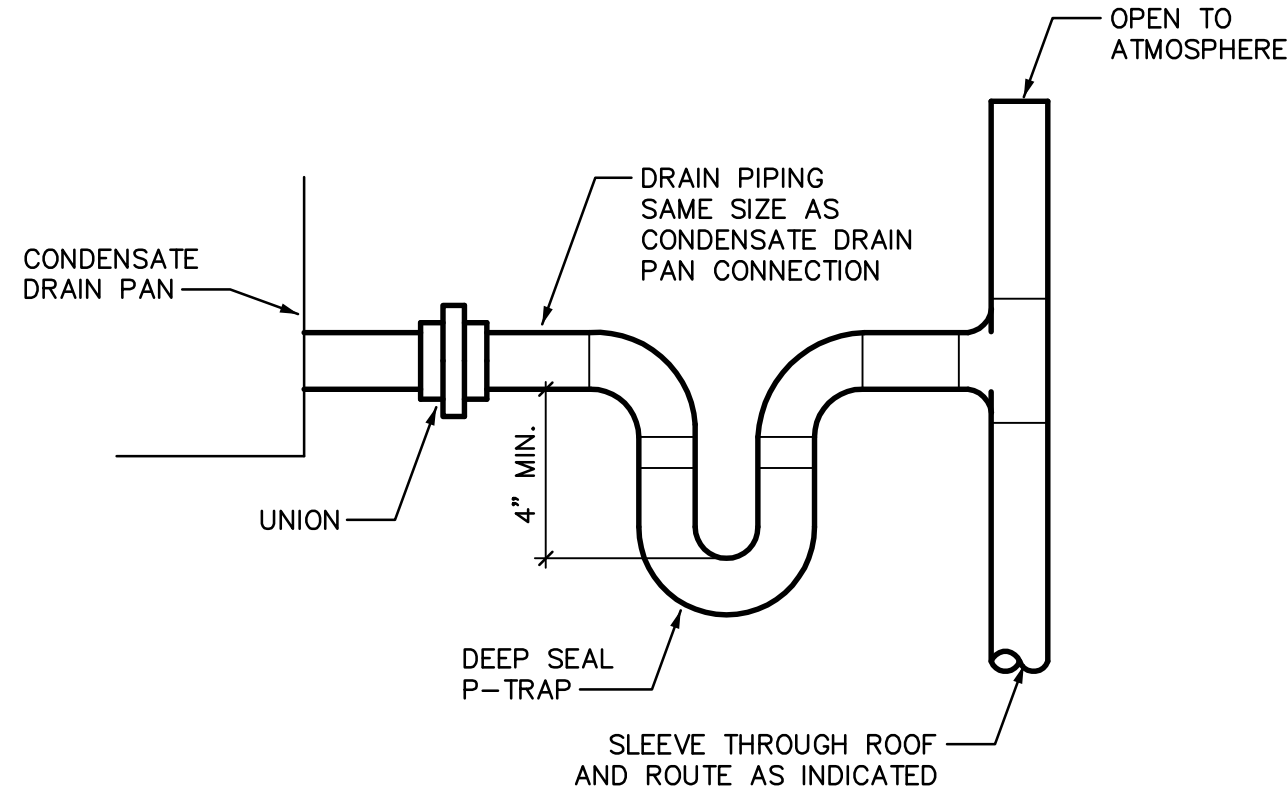
HORIZONTAL GAS FURNACE DETAIL
NOT TO SCALE

4
M3.1



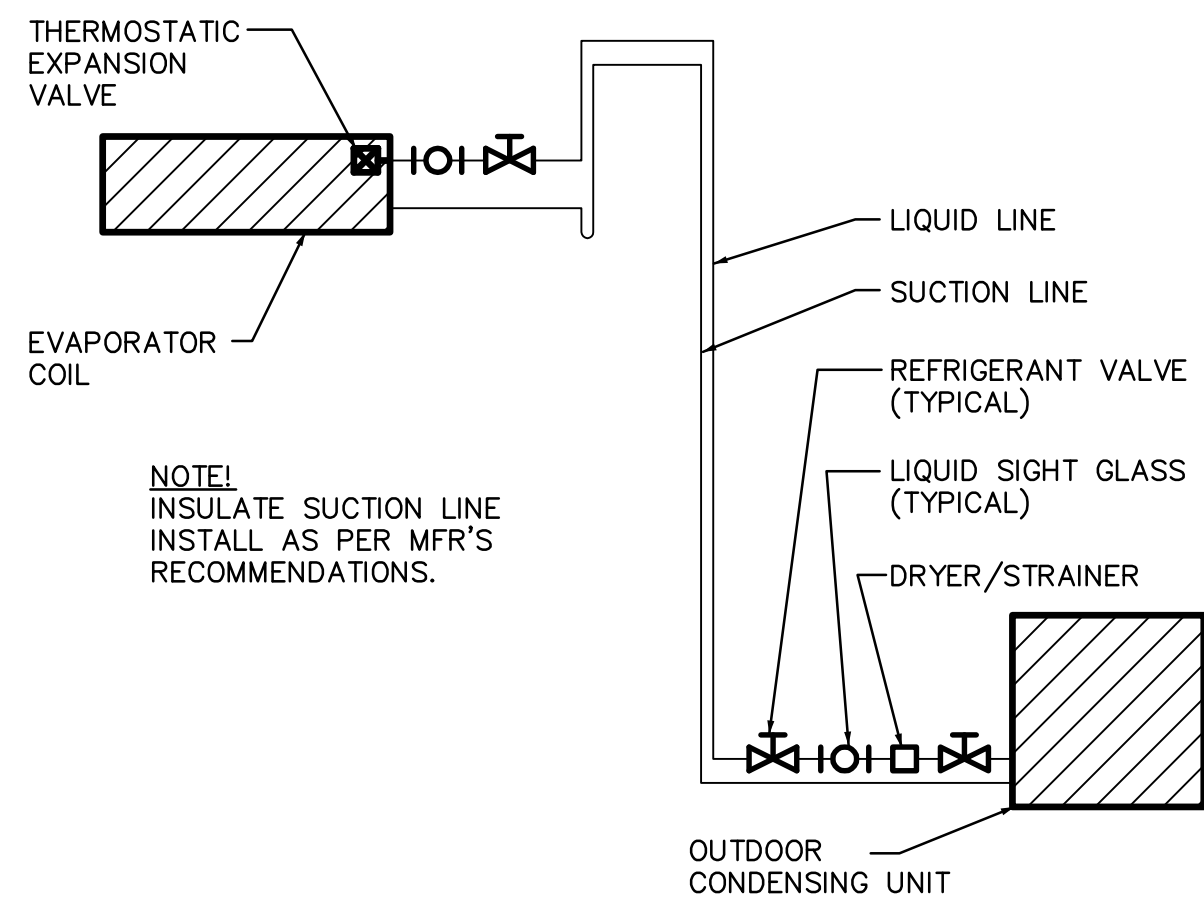
GAS FIRED UNIT HEATER

5
M3.1



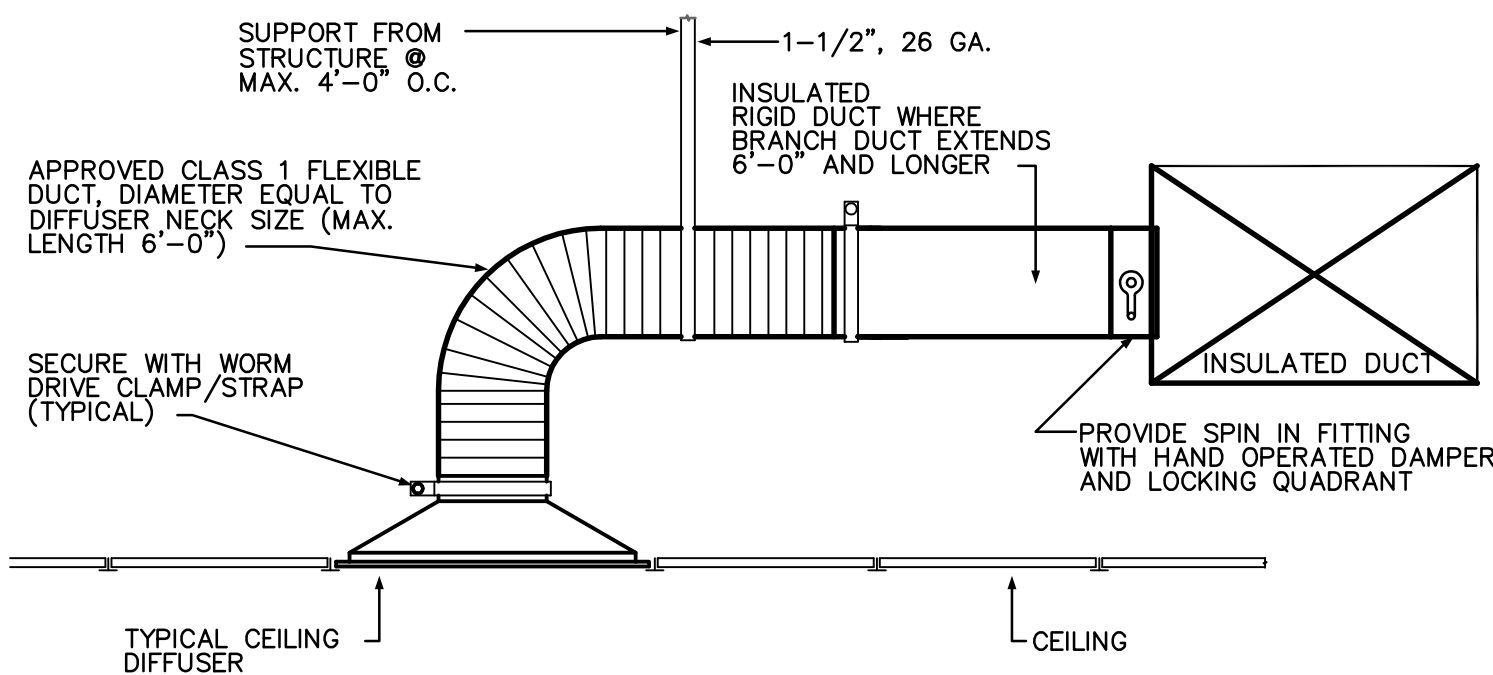
CONDENSATE PIPING
AT UNIT DETAIL
NOT TO SCALE

1
M3.1



SPLIT SYSTEM
REFRIGERANT PIPING DETAIL
NOT TO SCALE

2
M3.1



BRANCH
DUCT TAKE-OFF DETAIL
NOT TO SCALE

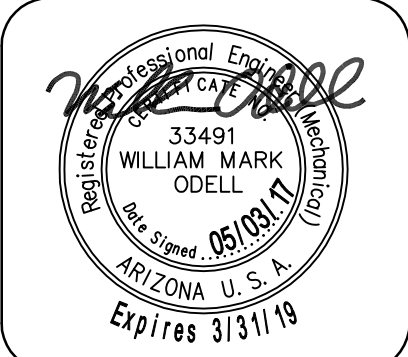
3
M3.1



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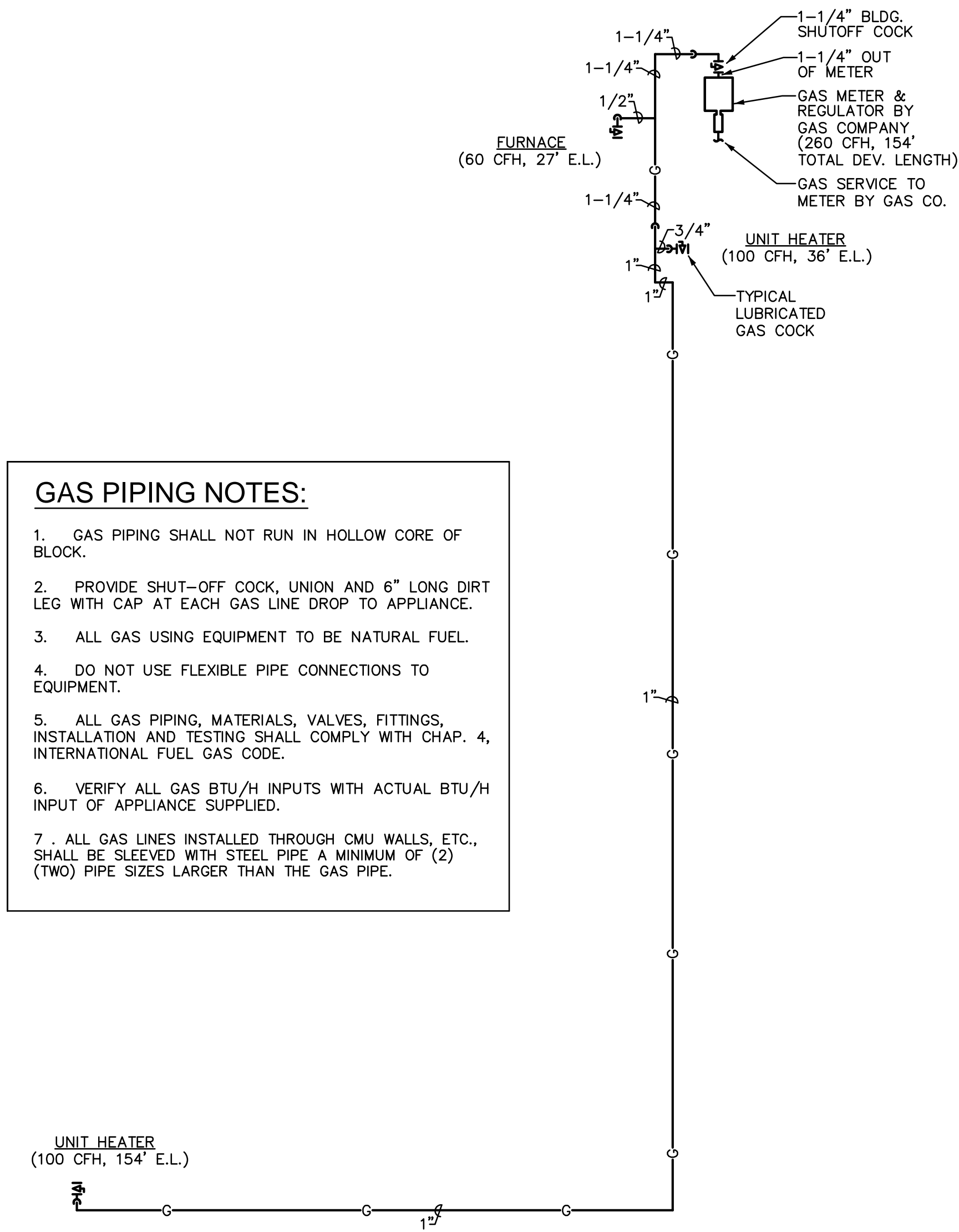
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ARCHITECTURE & PLANNING

DRAWING: Mechanical Details

PROJECT: Builders FirstSource
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APN: 103-08-043F

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M3.1



- GAS PIPING NOTES:**
1. GAS PIPING SHALL NOT RUN IN HOLLOW CORE OF BLOCK.
 2. PROVIDE SHUT-OFF COCK, UNION AND 6" LONG DIRT LEG WITH CAP AT EACH GAS LINE DROP TO APPLIANCE.
 3. ALL GAS USING EQUIPMENT TO BE NATURAL FUEL.
 4. DO NOT USE FLEXIBLE PIPE CONNECTIONS TO EQUIPMENT.
 5. ALL GAS PIPING, MATERIALS, VALVES, FITTINGS, INSTALLATION AND TESTING SHALL COMPLY WITH CHAP. 4, INTERNATIONAL FUEL GAS CODE.
 6. VERIFY ALL GAS BTU/H INPUTS WITH ACTUAL BTU/H INPUT OF APPLIANCE SUPPLIED.
 7. ALL GAS LINES INSTALLED THROUGH CMU WALLS, ETC., SHALL BE SLEEVED WITH STEEL PIPE A MINIMUM OF (2) (TWO) PIPE SIZES LARGER THAN THE GAS PIPE.

GAS PIPING DIAGRAM
NTS

PLUMBING FIXTURE SPECIFICATIONS	
SYMBOL	DESCRIPTION
ID-1	TRENCH DRAIN: ABT, INC. "POLYDRAIN" PRESLOPED TRENCH DRAIN SYSTEM, CONSISTING OF INTERLOCKING, PRECAST MODULAR TRENCH DRAIN SECTIONS. TRENCH AND BASIN BODIES SHALL BE FORMED OF CHEMICAL RESISTANT POLYESTER POLYMER CONCRETE MATERIAL. STARTER SECTIONS SHALL HAVE APPROPRIATE SEALING CAPS. PIPE OUTLETS SHALL BE PROVIDED AS LOCATED ON THE DRAWINGS. FURNISH WITH MODEL 512AF DUCTILE IRON FRAME AND GRATE ASSEMBLY.

PLUMBING SPECIFICATIONS:

1. GENERAL

1.1 Scope: Work under this section includes coordinating and furnishing all labor and material necessary to install a complete plumbing system as shown and specified and in accordance with the codes. Contractor shall pay for all permits, meters, fees, city inspections, legal notices, etc., as required.

1.2 Submittals: Within 15 days after award of contract, submit 8 copies of all items.

1.3 Record Drawings: Provide a set to the Architect at completion of project.

1.4 Instructions: Provide maintenance manual and instruct Owner in the proper operation and maintenance of the equipment.

1.5 Guarantee: One year on labor, material and equipment.

2. PRODUCTS

2.1.1 Gas Piping:

2.1.1.1 (Above grade, exterior): All pipe sizes, black steel pipe, Schedule 40, wrought steel buttwelded fittings.

2.1.1.2 (Above grade, inside building): Schedule 40 black steel. Pipe fittings shall conform to the following:

Pipe 2" and Smaller: Malleable iron threaded fittings.

Pipe 2-1/2" and Larger: Wrought steel buttwelded fittings.

2.2 Valves:

2.2.1 Gas Valves, 1/2" and Smaller: Milwaukee BB-1-102.

2.2.2 Gas Valves, 1" to 1-1/2": Rockwell-Nordstrom #142 with #555 lubricant for natural gas service.

2.2.3 Gas Valves, 2" and Larger: Rockwell-Nordstrom #143 with #555 lubricant for natural gas service.

2.3 Pipe Hangers and Supports: Fee & Mason Figure 103 clevis hanger for insulated pipe and Figure 104 clevis hanger for cast iron pipe. Install #500 Trisolators on uninsulated copper lines at all hangers and wall penetrations.

2.4 Acceptable Manufacturers: The following is a list of manufacturers whose equipment is acceptable as to manufacturer, subject to conformance with all drawings, specifications and addenda items:

Valves: Milwaukee, Rockwell-Nordstrom, Butterball.

Hangers: Grinnell, Fee & Mason, Elcen, Kin-Line, F & S, B-Line, Michigan.

3. EXECUTION

3.1 Tests and Inspections:

3.1.1 All work to be tested and approved before covering as directed by Architect. Remake all leaking joints.

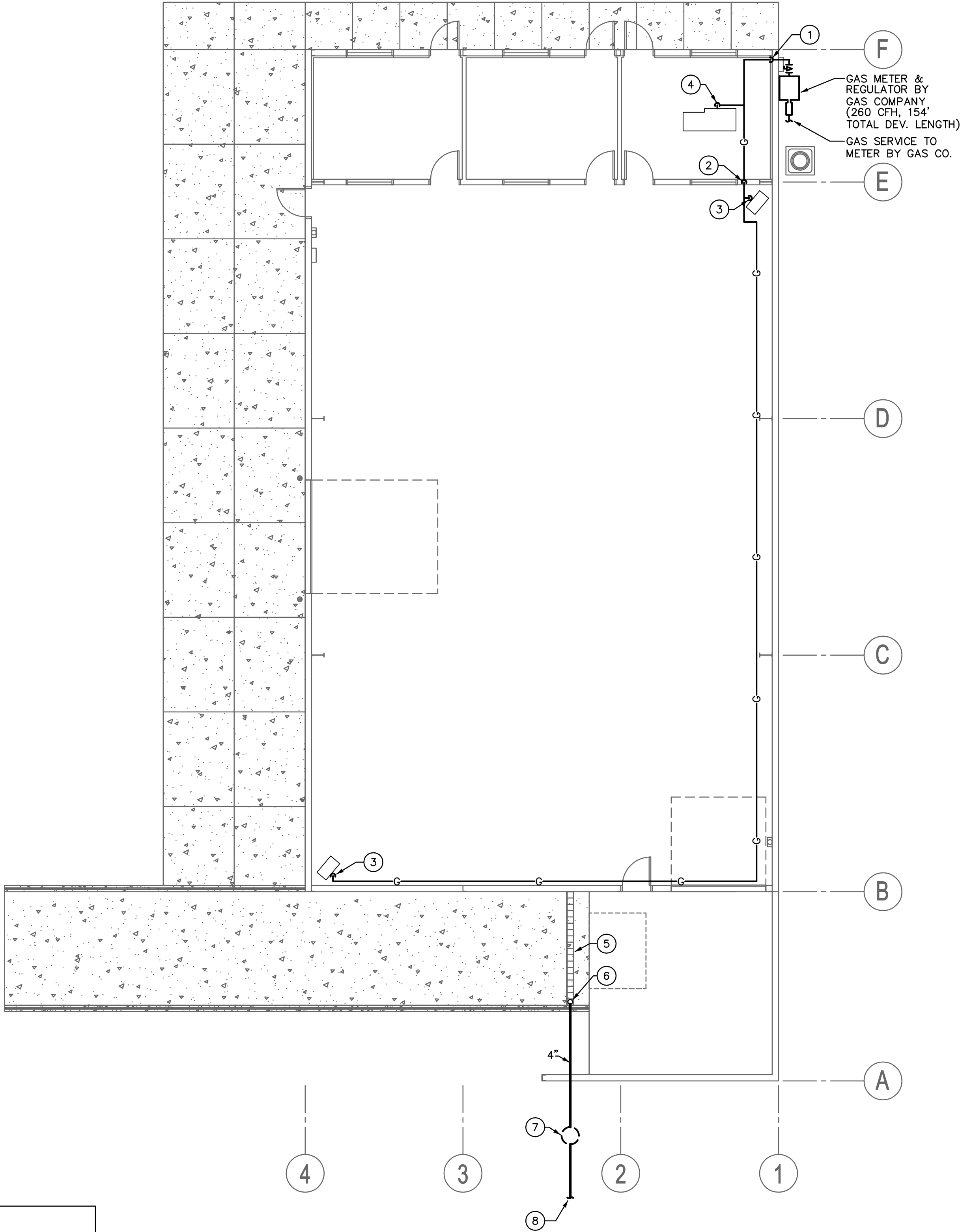
3.1.2 Gas System: Hold at 50 psi pneumatic for four hours with no pressure loss.

3.2 Flashing, Sleeves and Escutcheon Plates:

3.2.1 Flashing: Supply flashing for all vent pipe and other types of piping through roof to be installed with roofing. Flash vents with Stoneman S1300-4 or with sheet lead weighing not less than 4 pounds per square foot or equal. Extend flashing into roofing at least 10" from vent and turn flashing over and down into vent opening.

3.2.2 Sleeves: Use 20 gauge galvanized steel sleeves around pipes passing through masonry walls and concrete slabs.

3.2.3 Escutcheon Plates: Install cast brass split ring with setscrew at all locations where exposed pipes pass through walls, floors and/or ceilings. Provide polished chrome-plated escutcheons in finished rooms, all others polished brass.



P1 Plumbing Plan

Scale: 1/8"=1'-0"



PLUMBING LEGEND		
SYMBOL	ABBR.	DESCRIPTION
	SOC	SHUTOFF COCK
	G	NATURAL GAS PIPING
		PUMP DISCHARGE PIPING



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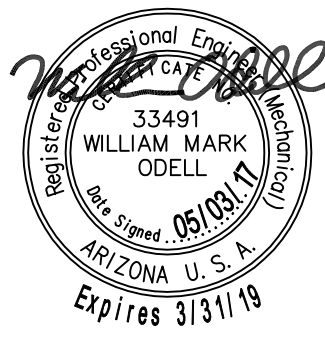
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KEYNOTES

- 1 GAS PIPING OUT OF METER, ENTER BLDG. & RISE TO ROUTE ABOVE CEILING.
- 2 GAS PIPING RISE TO ROUTE AT ROOF.
- 3 GAS PIPING DOWN TO UNIT HEATER, PROVIDE LUBRICATED GAS COCK & 6" DIRT LEG WITH THREADED PLUG.
- 4 GAS PIPING CONNECTION TO ATTIC MTD. FURNACE, PROVIDE LUBRICATED GAS COCK & 6" DIRT LEG WITH THREADED PLUG.
- 5 TRENCH DRAIN ID-1.
- 6 4" CONNECTION TO BOTTOM OF TRENCH DRAIN.
- 7 PACKAGED SUMP PUMP SYSTEM EQUAL TO "LIBERTY PUMPS" PRO-370 SERIES, #P372LE51, CONSISTING OF 1/2 HP/120V CAST IRON PUMP WITH INTEGRAL FLOAT SWITCH, 2" DISCHARGE; 41 GALLON CAPACITY. 24" DIAMETER x 24" HIGH POLYETHYLENE BASIN WITH INTEGRAL ANTI-FLOTATION COLLAR AND TORQUE STOPS; AND COVER WITH INTEGRATED RUBBER SEALS. PROVIDE CONCRETE RISER RINGS AS REQUIRED TO MEET GRADE & TRAFFIC RING & COVER.
- 8 2" PUMP DISCHARGE TO RETENTION.

REVISIONS	BY

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ARCHITECTURE & PLANNING

DRAWING: Plumbing Floor Plan

PROJECT: Builders FirstSource
6601 E. 2nd St.
Prescott Valley, AZ 86314

APN: 103-08-043F

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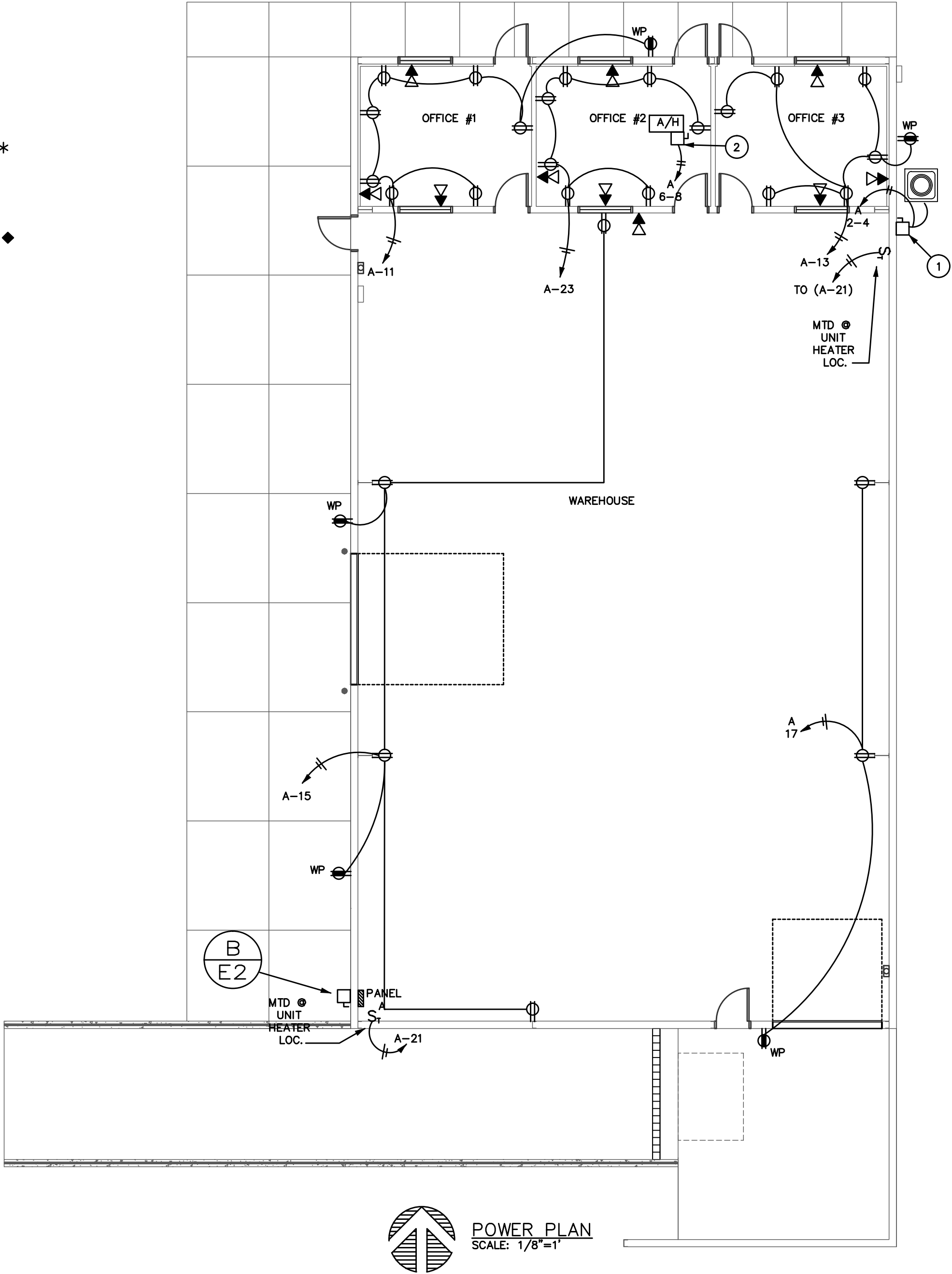
P1.1

PANELBOARD				A				SCHEDULE			
MAINS: 200 AMP MLD				LOAD-VIA				LOCATION: S.V. CORNER OF WAREHOUSE			
VOLTAGE: 120 / 240V 1Ø 3Ø				MOUNTING: SURFACE				MIN. A.I.C.: 10,000			
TYPE: GQ (FULLY RATED)											
CIRCUIT DESCRIPTION				BKR.	CIR. NO.	Ø A	Ø C	BKR.	CIR. NO.	CIRCUIT DESCRIPTION	
FUTURE SIGH J-BOX	20	1	1500	2	30			2	30	COND UNIT	
	1	3	2160		2				2		
OFFICE LIGHTING	20	1	3	2	30			2	30		
WEST WAREHOUSE LIGHTS	20	1	3		2				2		
CENTER WAREHOUSE LIGHTS	20	1	3	2	30			2	30	AIR HANDLER	
EAST WAREHOUSE LIGHTS	20	1	3		2				2		
OFFICE 1 & NORTH EXT. OUTLETS	20	1	3	2	30			2	30	SUMP PUMP	
OFFICE #3 & WEST EXT. OUTLETS	20	1	3		2				2		
WEST & NORTH WAREHOUSE OUTLETS	20	1	3	2	30			2	30	SPACE	
EAST WAREHOUSE OUTLETS	20	1	3		2				2		
OUTSIDE WALL BRACKET FIXTURES	20	1	3	2	30			2	30		
NORTH & SOUTH UNIT HEATER	20	1	3		2				2		
OFFICE #2 & NORTH WALL OUTLETS	20	1	3	2	30			2	30		
SPACE	20	1	3		2				2		
TOTAL CODE LOAD PER PHASE:				8104	8204	HIØ		8204	/ 120 = 68.37	AMPS	

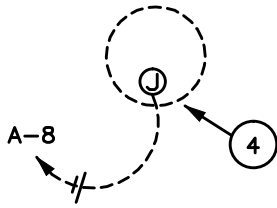
PANELBOARD SYMBOLS

- * CONTINUOUS DUTY/LARGEST MOTOR @ 125%
- PROVIDE BREAKER W/ HANDLE "LOCK-ON" DEVICE
- ◆ PROVIDE BREAKER W/ HANDLE "LOCK-OFF" DEVICE
- ▲ INDIVIDUAL PHOTO CELL EACH FIXTURE
- SHUNT TRIP CIRCUIT BREAKER
- KITCHEN EQUIPMENT @ 65% per nec 220-20
- EXISTING BREAKER W/ NEW LOAD
- △ NEW BREAKER W/ NEW LOAD

LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER AND MODEL NO.	VOLTS	LAMPS	MOUNTING	FINISH	REMARKS
A	LITHONIA ZL1NL485000FSTMVOLT35K80CRN	120	42W LED	SURFACE		SURFACE MOUNT
B	LITHONIA 26TL47ZLP835	120	40 LED	RECESSED		
E1	LITHONIA ELM2 LED	120	1.5W	SURFACE 97" AFF		PROVIDE 90 MIN BATTERY BACKUP USE IN ALL HALLWAY AREAS.
F	LITHONIA WSTLEDP340KVMVOLTPEDBXD	120	50 LED	WALL 91" AFG	DOBXD	EXTERIOR WALL LIGHTING CONTROLLED BY INDIVIDUAL PHOTO CELL
X1	LITHONIA LQMSWIR	120	1.5W	WALL CEILING		PROVIDE LED TYPE ONLY(W/ EMERG. HEADS) FURNISH WITH EM BATTERY BACKUP
X2	LITHONIA AFN	120	1.5W	WALL CEILING		PROVIDE EMERGENCY EGRESS LIGHTING FURNISH WITH EM BATTERY BACKUP

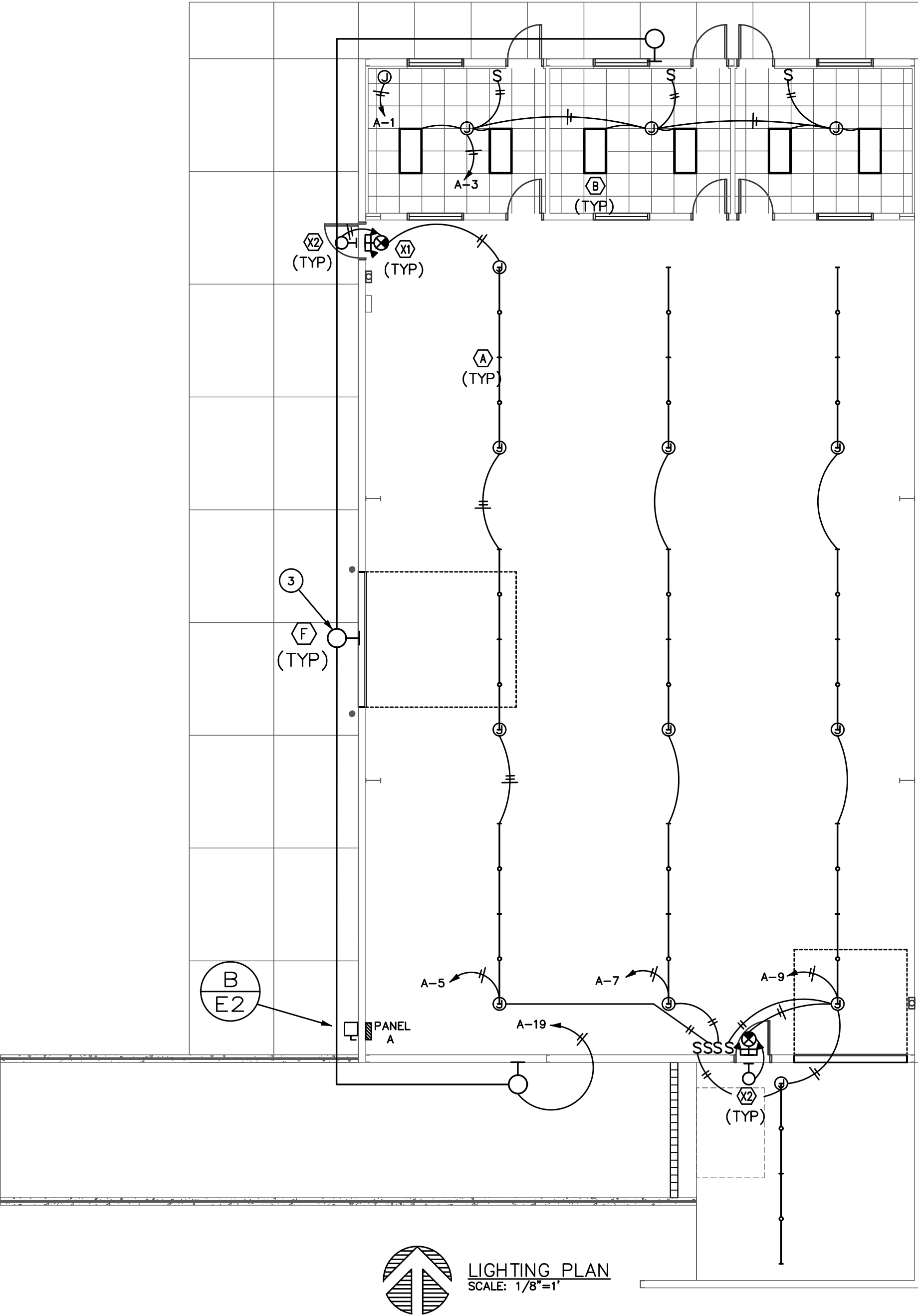


POWER PLAN
SCALE: 1/8"=1'



GENERAL NOTES:

- 30/2P WT DISC FUSE PER MFR REQ'MTS FED W/ 2-#10 THWN CU., 1-#10 GND IN 1/2"
- 30/2P WT DISC FUSE PER MFR REQ'MTS FED W/ 2-#12 THWN CU., 1-#12 GND IN 1/2"
- EXTERIOR LIGHTS FURNISHED WITH PHOTO CELL AS PART OF FIXTURE (TYP 3).
- PROVIDE CIRCUIT W.T. CONNECTION FOR SUMP PUMP PER MFR'S REQ'MTS. ADD LOCK OFF DEVICE ON CIRCUIT BREAKER (IN PANEL) FOR SUMP PUMP DISCONNECTING MEANS.



LIGHTING PLAN
SCALE: 1/8"=1'

REVISIONS

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Expires 3/31/18

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ARCHITECTURE & PLANNING

DRAWING: POWER PLAN, LIGHTING PLAN & SCHEDULES

PROJECT: Builders FirstSource
6601 E. 2nd St.
Prescott Valley, AZ 86314

APN: 103-08-043F

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ELECTRICAL SPECIFICATIONS

SCOPE OF WORK

THE WORK DESCRIBED UNDER THIS SECTION OF THE SPECIFICATIONS INCLUDES FURNISHING ALL MATERIAL, LABOR AND EQUIPMENT, EXCEPT AS FURNISHED UNDER OTHER SECTIONS OF THE SPECIFICATIONS, TO INSTALL ELECTRIC WORK AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.

REGULATIONS, PERMITS AND INSPECTIONS

GENERAL: THE CONTRACTOR WILL BE HELD TO HAVE EXAMINED THE PREMISES AND SATISFIED HIMSELF AS TO EXISTING CONDITIONS UNDER WHICH HE WILL BE DELEGATED TO OPERATE IN PERFORMING HIS PART OF THE WORK OF WHICH WILL IN ANY MANNER AFFECT THE WORK UNDER THIS CONTRACT.

REGULATIONS: COMPLY WITH ALL APPLICABLE CODES, RULES AND REGULATIONS. ALL MATERIALS, EQUIPMENT AND WORK MUST COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND THE APPLICABLE MUNICIPAL AND LIFE SAFETY CODES.

PERMITS: OBTAIN AND PAY FOR ALL PERMITS AND LICENSES.

INSPECTIONS: ALL WORK MUST BE INSPECTED AND APPROVED BY LOCAL AUTHORITIES.

EXISTING SERVICES AND REMODEL AREAS

THE CONTRACTOR SHALL MAINTAIN ALL SERVICES, POWER, SOUND, TELEPHONE, ETC. TO EXISTING BUILDINGS OR AREAS. ANY INTERRUPTIONS OF SERVICES REQUIRED FOR "TIE-INS" OR CONNECTIONS OF NEW CABLES, ETC. SHALL BE DONE AT A TIME THAT IS CONVENIENT TO THE OWNER AND SHALL BE APPROVED IN WRITING PRIOR TO THE INTERRUPTION. MODIFIED SERVICE ENTRANCE SECTIONS SHALL BE IN-WIT TESTED WITH WRITTEN REPORTS SUBMITTED TO THE ENGINEER.

SERVICE ENTRANCE EQUIPMENT - (UNLESS EXISTING)

SERVICE ENTRANCE EQUIPMENT SHALL HAVE A SHORT CIRCUIT CURRENT RATING EQUAL TO OR GREATER THAN THE AVAILABLE FAULT CURRENT, AND SHALL MEET ALL THE REQUIREMENTS OF UL STANDARD 800. OUTDOOR GEAR SHALL BE NEMA 3R. ALL SWITCH GEAR SHALL BE FREE STANDING UNLESS OTHERWISE INDICATED. SEE ONE LINE DIAGRAM.

PROVIDE MICARTA NAME PLATES ON ALL DEVICES INDICATING THE LOAD SERVED.

END SECTION SHALL BE PROVIDED WITH FULL CAPACITY THROUGH-BUS FOR FUTURE EXTENSION TO FUTURE SECTIONS.

SEE ONE LINE DIAGRAM AND PLANS FOR ADDITIONAL REQUIREMENTS.

PANELS

PANEL TYPE SHALL BE INDICATED ON THE DRAWINGS. NEW FLUSH PANELS SHALL HAVE 3 - 3/4" CONDUITS STUBBED INTO ACCESSIBLE CEILING SPACE. ALL PANELS SHALL HAVE A GROUND BUS.

CONTRACTOR SHALL CHECK ALL BREAKERS AND REPLACE ALL DEFECTIVE BREAKERS. VERIFY THE INTERRUPTING CAPACITY OF ALL BREAKERS WITH THE REQUIREMENTS AS INDICATED ON THE DRAWINGS.

DRY TYPE TRANSFORMERS

SHALL BE EQUAL TO SQUARE "D", 150 TEMPERATURE RISE, SERIES 7410/7411.

SAFETY SWITCHES

SAFETY SWITCHES SHALL BE HEAVY DUTY TYPE, WHERE OUTSIDE THE BUILDING, THE SWITCHES SHALL BE RANTIGHT TYPE NEMA 3R. ALL SWITCHES SHALL BE LOCKABLE.

WIRE

ALL WIRE AND CABLE SHALL BE NEW, 600 VOLT INSULATED, OF TYPES SPECIFIED BELOW FOR DIFFERENT APPLICATIONS. ALL WIRE AND CABLE SHALL BEAR THE UNDERWRITERS LABEL AND SHALL BE BROUGHT TO THE JOB IN UNBROKEN PACKAGES. WIRE SHALL BE COLOR CODED PER THE NEC OR LOCAL AUTHORITY.

BRANCH CIRCUIT WIRING SHALL BE A MINIMUM 12 AWG.

WIRE AND CABLE 4 AWG SIZE SMALLER SHALL BE TYPE THW OR THWN/THWN. WIRE AND CABLE LARGER THAN 4 AWG SIZE AND A/C FEEDERS SHALL BE TYPE XHHW.

ANY 15A OR 20A, 120 VOLT LIGHTING OR OUTLET BRANCH CIRCUIT WITH AN OVERALL LENGTH OF 150 FEET OR LONGER SHALL BE 10 WIRE FOR FULL LENGTH OF CIRCUIT EXCEPT AS NOTED OTHERWISE.

CONDUIT

ALL ELECTRICAL WIRING MUST BE IN CONDUIT. CONDUIT SHALL BE RIGID GALVANIZED STEEL, SCHEDULE 40 PVC, INTERMEDIATE METALLIC CONDUIT -M-C-, ELECTRICAL METALLIC TUBING -E-M-T-, LIQUIDTIGHT FLEXIBLE METAL OR FLEXIBLE METAL CONDUIT AS REQUIRED BY THE NEC AND LOCAL CODES.

FLEXIBLE CONDUIT MAY ONLY BE USED FOR SHORT FINAL CONNECTION TO INTERIOR LIGHT FIXTURES AND MOTORS SHALL BE LIQUIDTIGHT.

MINIMUM SIZE CONDUIT SHALL BE 1/2", M.C. CABLE MAY BE USED.

ALL CONDUITS TO BE RUN CONCEALED EXCEPT TO SURFACE MOUNTED PANELS AND AT THE CEILING OF EXPOSED STRUCTURE AREAS.

CONDUITS SHALL BE RUN PERPENDICULAR OR PARALLEL TO BUILDING LINES. CONDUITS SHALL NOT BE SUPPORTED FROM CEILING SYSTEM SUPPORT WIRES.

GROUNDING

PROVIDE A CODE SIZED GROUND WIRE IN ALL CONDUITS

ACCEPTABLE MANUFACTURERS

THE FOLLOWING IS A LIST OF MANUFACTURERS WHOSE EQUIPMENT IS ACCEPTABLE AS TO MANUFACTURE, SUBJECT TO CONFORMANCE WITH THE DRAWINGS, SPECIFICATIONS AND ADDENDA ITEMS. CAREFUL CHECKING MUST BE MADE TO VERIFY THAT THE EQUIPMENT WILL MEET ALL APPLICABLE REQUIREMENTS, SPACE ALLOCATIONS, AND THAT THE WEIGHTS ARE NOT EXCESSIVE.

POWER DISTRIBUTION EQUIPMENT: CUTLER HAMMER, SQUARE D OR PRIOR APPROVED EQUAL FOR SERIES RATED SYSTEM.

WIRE AND CABLES: GENERAL CABLE, AMARCONDA, CAPTROL, ORGLE AW, GENERAL ELECTRIC, ORIENTE, ROMEY, SIMPLEX, KAESER.

LOCAL WALL SWITCHES, RECEPTACLES, PILOT LIGHTS: PASS AND SENIOW, BRYANT, ORGLE F, GENERAL ELECTRIC, HUBBELL, RUSSELL & STOLL, ARROWHART.

DEVICE PLATES: HUBBELL, SLATER, PASS AND SENIOW, BRYANT, ARROW-HART, LEVITON.

LAMPS: GENERAL ELECTRIC, PHILIPS, SYLVANIA.

CONDUIT: TRANGLE, NATIONAL ELECTRIC CO., JONES-MCLAUGHLIN, REPULEC.

FITTINGS: THOMAS AND BETTS, APPLETON, CROUSE-HINDS.

CAST OUTLET BOXES: CROUSE-HINDS.

BALLASTS: ADVANCE, VALMONT, MAGNATEX, UNIVERSAL.

FLOOR BOXES: HUBBELL, LEW, STEEL CITY.

OUTLET BOXES: RACO, STEEL CITY, SLATER.

FUSES: BUSSMAN, CHASE-SHAMMUT, RELIANCE, LITTLEFUSE.

GUARANTEE

GUARANTEE ALL MATERIAL, EQUIPMENT, AND WORKMANSHIP FOR ALL SECTIONS UNDER DIVISION IN WRITING TO BE FREE FROM DEFECT OF MATERIAL AND WORKMANSHIP FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. REPLACE WITHOUT CHARGE, ANY MATERIAL OR EQUIPMENT PROVEN DEFECTIVE DURING THIS PERIOD. THE GUARANTEE SHALL INCLUDE PERFORMANCE OF THE EQUIPMENT UNDER ALL CONDITIONS OF LOAD, INSTALLING AND ADDITIONAL ITEMS OF CONTROL, AND/OR PROTECTIVE DEVICES AS REQUIRED.

ACCEPTABLE FUSE EQUIVALENTS

UL CLASS	VOLT	DESCRIPTION	BUSSMAN	RELIANCE	SHAMMUT	LITTLEFUSE
RRT	250	TIME DELAY LPN-R	LEPNR	ADD-R	LEPNR	
RRT (A)	600	TIME DELAY LPN-RK	LEPNRK	ADD-R	LEPNRK	
RKS	250	TIME DELAY PRN-RK	ECNR	TR-R	FLNR	
RKS (A)	600	TIME DELAY PRN-R	SCNR	TR-R	FLNR	
L	600	TIME DELAY KRP-C	LKU	ABY	KLPC	
L (A)	600	FAST ACTING KLU	LCL	LOU	KLLU	
L (B)	600	FAST ACTING KTU	LOU	---	---	
KI	250	FAST ACTING KWN-R	---	---	---	
KI (A)	600	FAST ACTING KWN-R	---	---	---	
RRT (B)	250	FAST ACTING KTN-R	NCNR	AZK	RUN-R	
RRT (C)	600	FAST ACTING KTS-R	SOLR	AKK	RLS-R	
J	600	FAST ACTING JKS	JLC	AAJ	JLS	
T	250	VERY FAST JLN	---	AST	JLN	
T (A)	600	VERY FAST JLS	---	---	JLS	

NOTE: FUSES NOT LISTED ABOVE MUST BE APPROVED BY DESIGNER/ENGINEER.

ELECTRICAL SYMBOLS

NOTE: NOT ALL SYMBOLS ARE USED ON THIS PROJECT

- FLUORESCENT FIXTURE, WITH FIXTURE DESIGNATED BY LETTER.
- NIGHT LIGHT- NOT SWITCHED
- CEILING OR WALLMOUNTED FIXTURE.
- JUNCTION BOX WITH FLEX CONNECTION.
- SINGLE FACE EXIT SIGN- NOT SWITCHED.
- DOUBLE FACED EXIT SIGN- NOT SWITCHED.
- TWO HEAD EMERGENCY LIGHT WITH BATTERY.
- SINGLE POLE SWITCH, + 48" A.F.F.
- THREE WAY SWITCH, + 48" A.F.F.
- OUTLET CONTROL INDICATOR
- DIMMER CONTROL, + 48" A.F.F.
- DUPLEX RECEPTACLE, + 18" A.F.F.
- GFCI RECEPTACLE VERIFY HEIGHT WEATHER PROOF WHEN OUTDOORS.
- FOURPLEX RECEPTACLE, + 18" A.F.F.
- MOTION SENSOR
- DUPLEX RECEPTACLE, ABOVE COUNTER VERIFY HEIGHT.
- POWER / PHONE / DATA OUTLET
- FLUSH IN FLOOR.
- TELEPHONE OUTLET PLASTER RING 1/8" A.F.F. HUBBELL #P12 COVERPLATE, 3/4" C. TO CEILING SPACE UNLESS SHOWN WITH HOMERUN, + 18" A.F.F.
- DATA SYSTEM OUTLET, 4" SQUARE BOX AND COVERPLATE, 3/4" C. TO CEILING SPACE UNLESS SHOWN WITH HOMERUN, + 18" A.F.F.
- DISCONNECT SWITCH, FUSE PER EQUIPMENT MANUFACTURERS RECOMMENDATION, OUTSIDE NEMA 3R - N.F. = NON-FUSED.
- MOTOR
- THERMAL PROTECTED SWITCH
- HEAT STRIP
- MOTOR STARTER - SHADING INDICATES F.B.O.
- DISTRIBUTION PANELBOARD.
- BRANCH CIRCUIT PANELBOARD.
- CONDUIT BELOW FLOOR OR UNDERGROUND
- CONDUIT IN WALL OR ABOVE CEILING
- HOMERUN TO PANEL, NEUTRAL AND PHASE WIRING DESIGNATION (SEE GROUNDING NOTE)
- EXISTING LIGHT OR DEVICE TO REMAIN
- EXISTING DEVICE TO BE REMOVED OR RELOCATED
- RELOCATED LIGHT OR DEVICE
- ABOVE FINISHED FLOOR (1/2" OF OUTLET)
- ABOVE FINISHED GRADE (1/2" OF OUTLET)
- ISOLATED GROUND.
- EMPTY CONDUIT
- GROUND FAULT INTERRUPTER
- ELECTRIC DRINKING FOUNTAIN
- TELEPHONE MOUNTING BOARD
- TELEPHONE TERMINAL CABINET
- SERVICE ENTRANCE SECTION
- EXHAUST FAN
- FIRE ALARM PULL STATION, + 48" A.F.F.
- FIRE ALARM HORN
- FIRE ALARM SMOKE DETECTOR
- FIRE ALARM HEAT DETECTOR
- FIRE ALARM DUCT DETECTOR
- FIRE ALARM AUDIO / VISUAL ALARM
- FIRE ALARM VISUAL ONLY ALARM

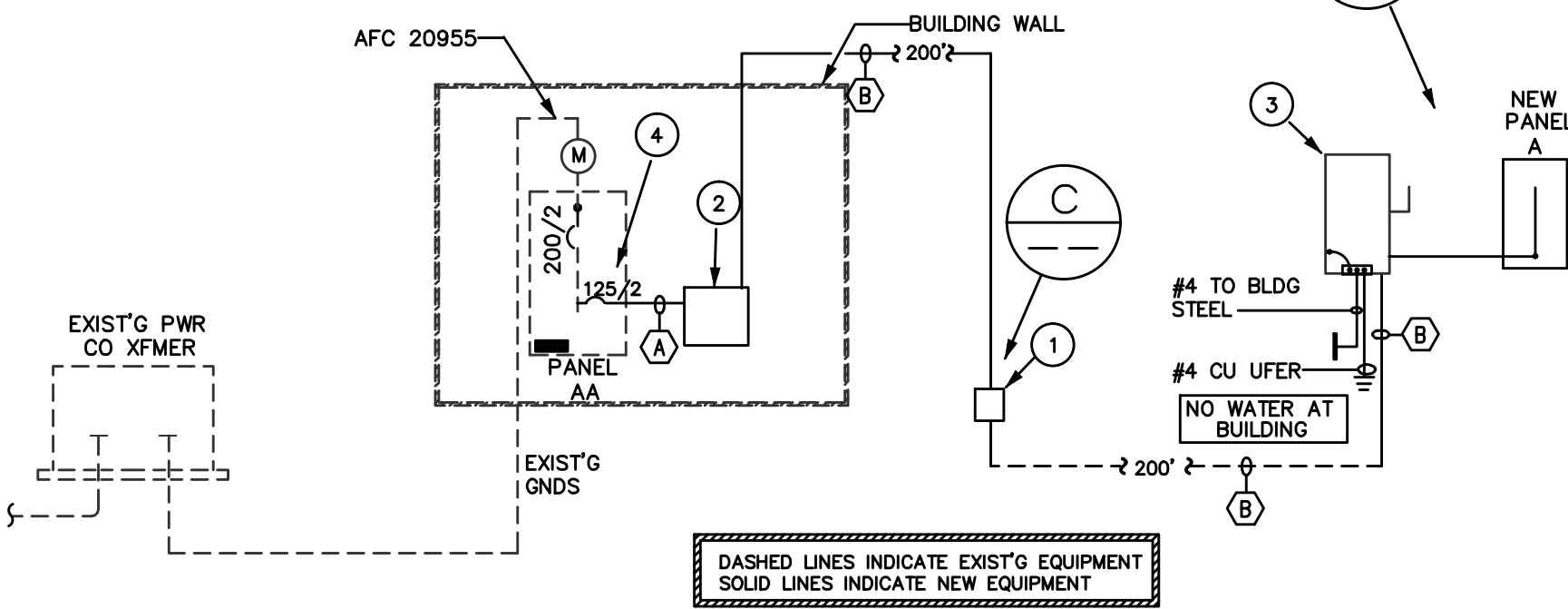
PANELBOARD SYMBOLS

- CONTINUOUS DUTY/LARGEST MOTOR 125%
- PROVIDE BREAKER W/ HANDLE "LOCK-ON" DEVICE
- CIRCUIT VIA TIMECLOCK
- INDIVIDUAL PHOTO CELL EACH FIXTURE
- SHUNT TRIP CIRCUIT BREAKER
- KITCHEN EQUIPMENT 65% per nec 220-20
- EXISTING BREAKER W/ NEW LOAD
- NEW BREAKER W/ NEW LOAD

GENERAL NOTES:

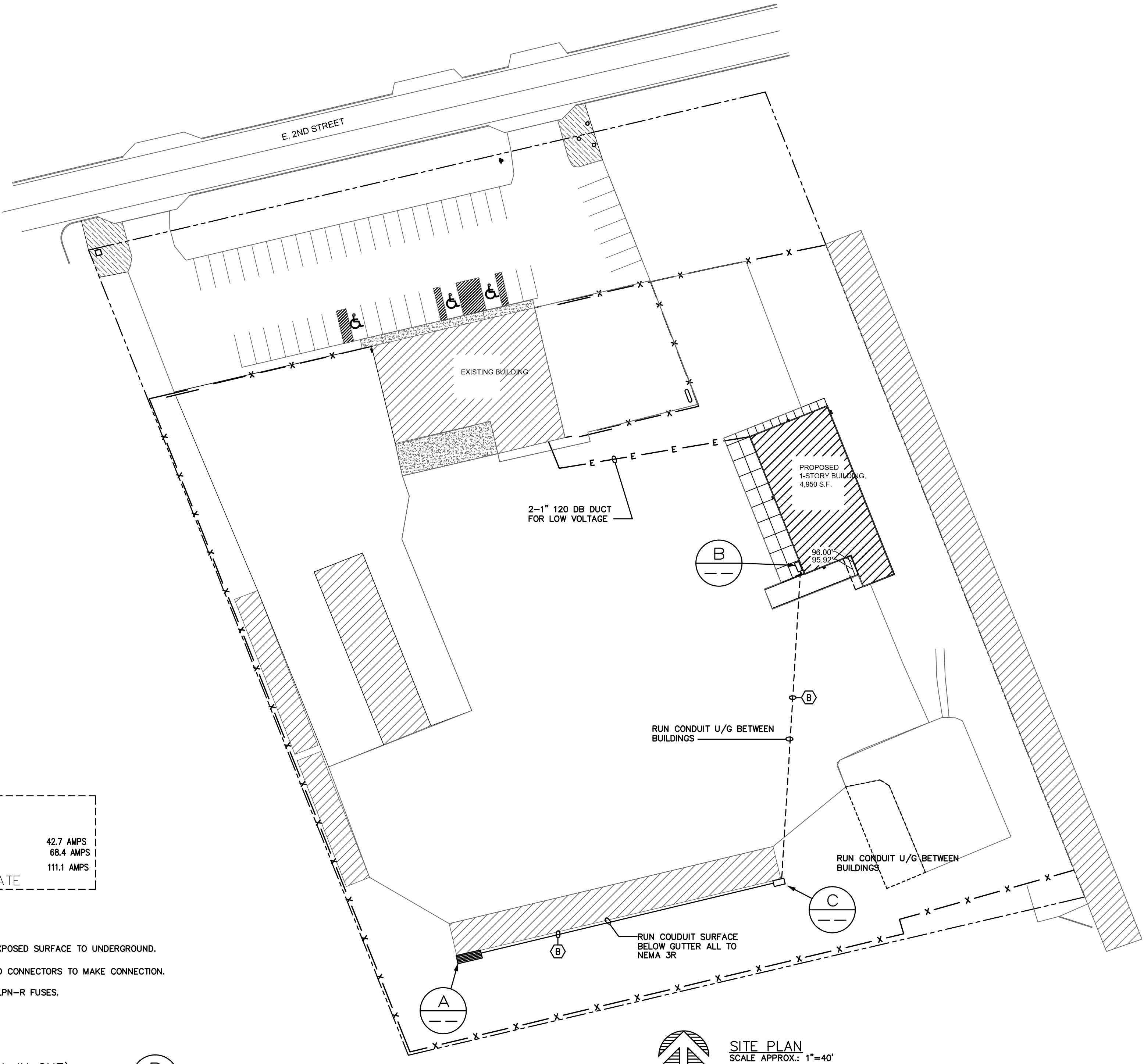
- PROVIDE W.T. PULL BOX WHERE FEEDER CONVERTS FROM EXPOSED SURFACE TO UNDERGROUND.
- PROVIDE WP J-BOX FOR FEEDER TRANSITION, USE UL LISTED CONNECTORS TO MAKE CONNECTION.
- 200 AMP NEMA 3R 1ØW FUSED DISCONNECT W/ 125 AMP LPN-R FUSES, WHICH IS MAIN DISCONNECT FOR WAREHOUSE BUILDING.
- INSTALL NEW 125/2 POLE BREAKER IN EXIST'G SES.

EXIST'G 200 AMP 120/240V1Ø3W NEMA 3R (ALL IN ONE) BRACED FOR 65000 AIC



FEEDER SCHEDULE

- 3-#1/0 THWN CU., 1-#6 GND IN 1-1/2" CONDUIT.
- 3-#4/0 THWN CU., 1-#4 GND IN 2" CONDUIT.



SITE PLAN SCALE APPROX.: 1"=40'

REVISIONS BY

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Robert L. Haines

3/31/18

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ARCHITECTURE & PLANNING

DRAWING: ELECTRICAL SPECIFICATIONS, SYMBOLS, FEEDER SCHEDULE & ELECTRICAL SITE PLAN

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APN: 103-08-043F

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