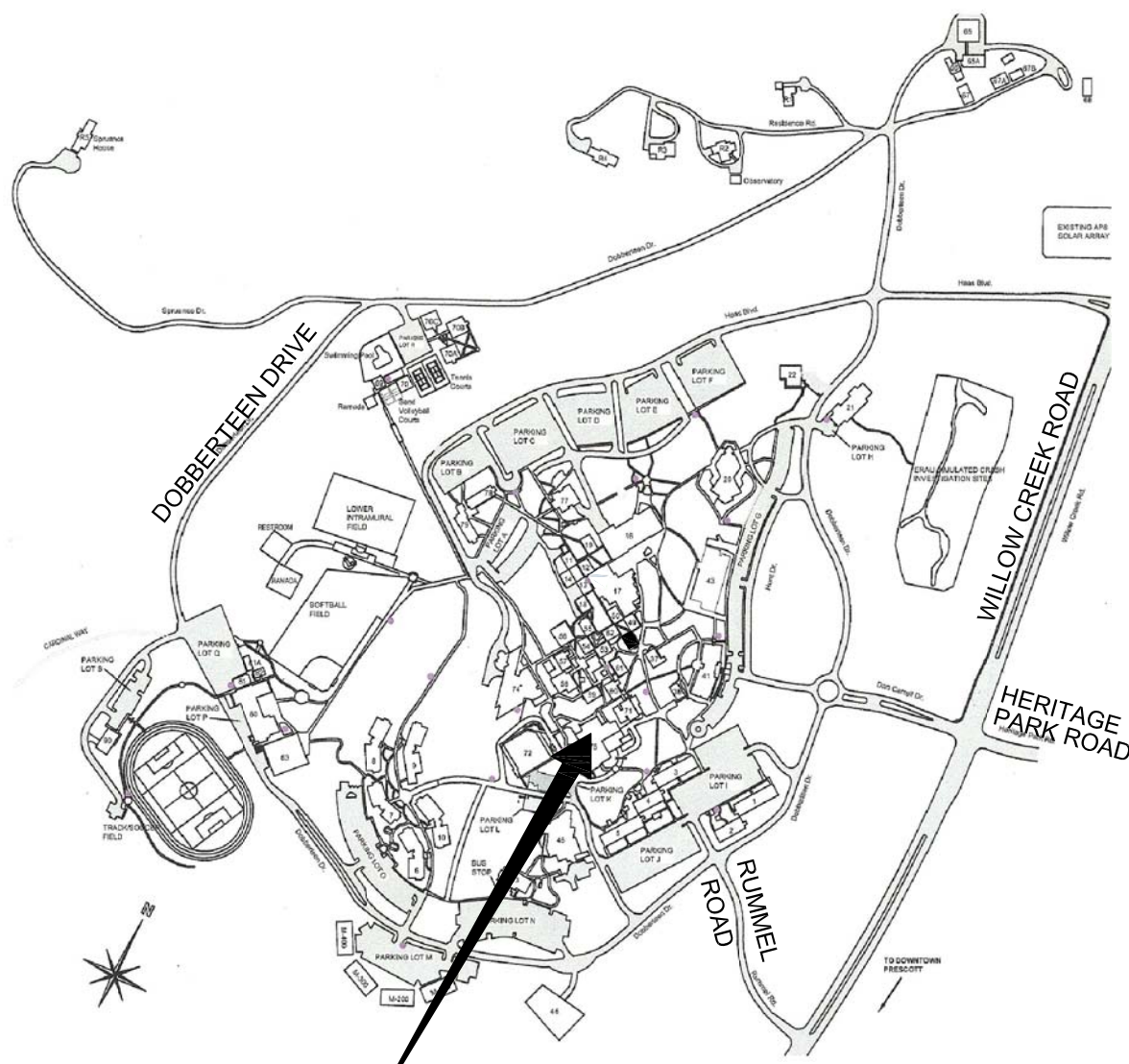


# Project Description

Embry-Riddle Aeronautical University intends to remodel a portion of building 75 'AXFAB'. Two existing classrooms will be converted into 5 offices. The area of the remodel is approximately 800 S.F. Two existing walls will be removed and four new walls will be constructed. HVAC system will need to be modified as well as lighting, electrical power and low voltage.

# Site / Vicinity Map



# Graphic Standards

	NORTH ARROW INDICATOR		ELEVATION DESIGNATOR
	DETAIL DESIGNATOR		DESRIPTIVE NOTE DESIGNATOR
	BUILDING SECTION DESIGNATOR		ROOM NUMBER / FINISH DESIGNATOR
	REVISION DESIGNATOR		DOOR NUMBER DESIGNATOR
	TYPICALLY INDICATES EXISTING DOOR & FRAME TO BE REMOVED		DOOR TYPE DESIGNATOR
	TYPICALLY INDICATES EXISTING DOOR & FRAME TO REMAIN		WINDOW TYPE DESIGNATOR
			GRID LINE DESIGNATOR
			TYPICALLY INDICATES PROPOSED DOOR & FRAME - REFER TO DOOR SCHEDULE

# IMPROVEMENTS FOR EMBRY-RIDDLE BUILDING 75 OFFICE REMODEL

# Project Information

<b>OWNER:</b>	Embry-Riddle Aeronautical University 3700 Willow Creek Road Prescott, AZ 86301	PH: 928-777-6600 CONTACT: Carl Beumer beumerc@erau.edu
<b>PREPARED BY:</b>	W. Alan Kenson & Associates, P.C. P.O. Box 11593 Prescott, AZ 86304	PH: 928-443-5812 CONTACT: Alan Kenson waka@cableone.net
<b>CONTRACTOR:</b>	To be determined	
<b>SCOPE OF WORK:</b>	Office Renovation	
<b>PROJECT ADDRESS:</b>	3700 Willow Creek Road (Building 75) Prescott, AZ 86301 (APN: 106-03-004)	
<b>ZONE:</b>	BG - PAD	
<b>OCCUPANCY:</b>	B (Educational Facility for students above the 12th grade) , Non-Separated	
<b>CONSTRUCTION TYPE:</b>	II-B Sprinklered	
<b>ACTUAL AREA</b>		
<b>BUILDING 75:</b>	Existing 23,155 S. F. Area of remodel 812 S.F.	

<b>EMERGENCY LIGHTING:</b>	Yes
<b>FIRE ALARMS:</b>	Yes
<b>FIRE SPRINKLERS:</b>	Yes
<b>FIRE EXTINGUISHERS:</b>	Yes - 1 per 3,000 S.F.
<b>BUILDING CODE:</b>	2012 International Building Code
<b>PARKING:</b>	Parking is existing and adequate
<b>OCCUPANT LOAD:</b>	(Refer to Sheet CS2)
<b>EXITS REQUIRED:</b>	(Refer to Sheet CS2)
<b>EXITS PROVIDED:</b>	(Refer to Sheet CS2)

# Sheet Index

<b>ARCHITECTURAL</b>	
CS1	Cover Sheet
CS2	Code Summary
CS3	Room Signage
A0.0	Construction Access Plan
A1.0	Demolition and Reference / Dimension / Wall Types Plan
A2.0	Demolition and Proposed Reflected Ceiling Plans
A3.0	Schedules and Details
A4.0	Specifications
A4.1	Specifications
A4.2	Specifications
<b>MECHANICAL</b>	
M1.0	Mechanical Floor Plan
M2.0	Mechanical Schedules, Specs and Details
<b>ELECTRICAL</b>	
E1.0	Electrical Symbols, Specifications, Panel Schedules with Notes
E1.1	Lighting & Power Floor Plan with Notes

# Architect:

## W. Alan Kenson & Associates, P.C.

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# ARCHITECTURE & PLANNING



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**W. Alan Kenson & Associates, P.C.**

**DRAWING:** Cover Sheet

**PROJECT:** ERAU Building 75 Office Remodel  
3700 Willow Creek Road  
Prescott, AZ 86301

**APN:** 106-03-004

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DATE April 25th, 2019
JOB NO. 731
SHEET

# CS1



Apr 25, 2019 - 2:04pm

## Plumbing Calculations

	OCCUPANCY CLASSIFICATION	OCCUPANCY COUNT	WATER CLOSETS MEN	URINALS	WATER CLOSETS WOMEN	LAVATORIES MEN	LAVATORIES WOMEN
	EDUCATIONAL	316	3.2		3.2	3.2	3.2
TOTAL REQUIRED			3.2		3.2	3.2	3.2
TOTAL EXISTING			2 (1 ACCESSIBLE)	2	4 (1 ACCESSIBLE)	3	3

## Accessibility Notes

- ACCESS TO THESE FACILITIES SHALL BE AT PRIMARY ENTRANCES.
- THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 2%.
- WALKING SURFACES GREATER THAN 2% SHALL BE SLIP RESISTANT.
- PROVIDE A 44"x60" MINIMUM LANDING ON THE STRIKE SIDE OF THE ENTRANCE DOOR WITH 44" MINIMUM WIDTH IN THE DIRECTION OF TRAVEL.
- WALLS SHALL EXTEND 18" TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARDS THE OCCUPANT.
- RAMPS SHALL HAVE A NON-SLIP SURFACE.
- RAMPS SHALL BE A MINIMUM OF 36" WIDE.
- EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 36" WIDE BY NOT LESS THAN 6'-8" HIGH CAPABLE OF OPENING 90 DEGREES AND MOUNTED SO THE CLEAR WIDTH OF THE EXIT WAY IS 32" MINIMUM.
- THRESHOLDS TO BE A MAXIMUM OF 1/4" ABOVE ADJACENT FLOOR FINISH. ONE-HALF INCH THRESHOLD MAY BE USED IF BEVELED PER A.D.A. STANDARDS.
- MAXIMUM EFFORT TO OPERATE A DOOR SHALL NOT EXCEED 5 POUNDS.
- THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
- PROVIDE LEVER TYPE HARDWARE, PANIC BARS, PUSH AND PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. (30" TO 44" A.F.F.) REFER TO DOOR HARDWARE SCHEDULE.

## Egress Legend:

- EXIT ACCESS
- ACCESSORY USE (NO OCCUPANCY)
- ROOM OCCUPANCY LOAD
- SUBTOTAL OCCUPANCY LOAD
- OCCUPANCY TOTAL
- REQUIRED EXIT WIDTH (FACTOR = 0.15)
- PROVIDED EXIT WIDTH
- WORST CASE TRAVEL DISTANCE

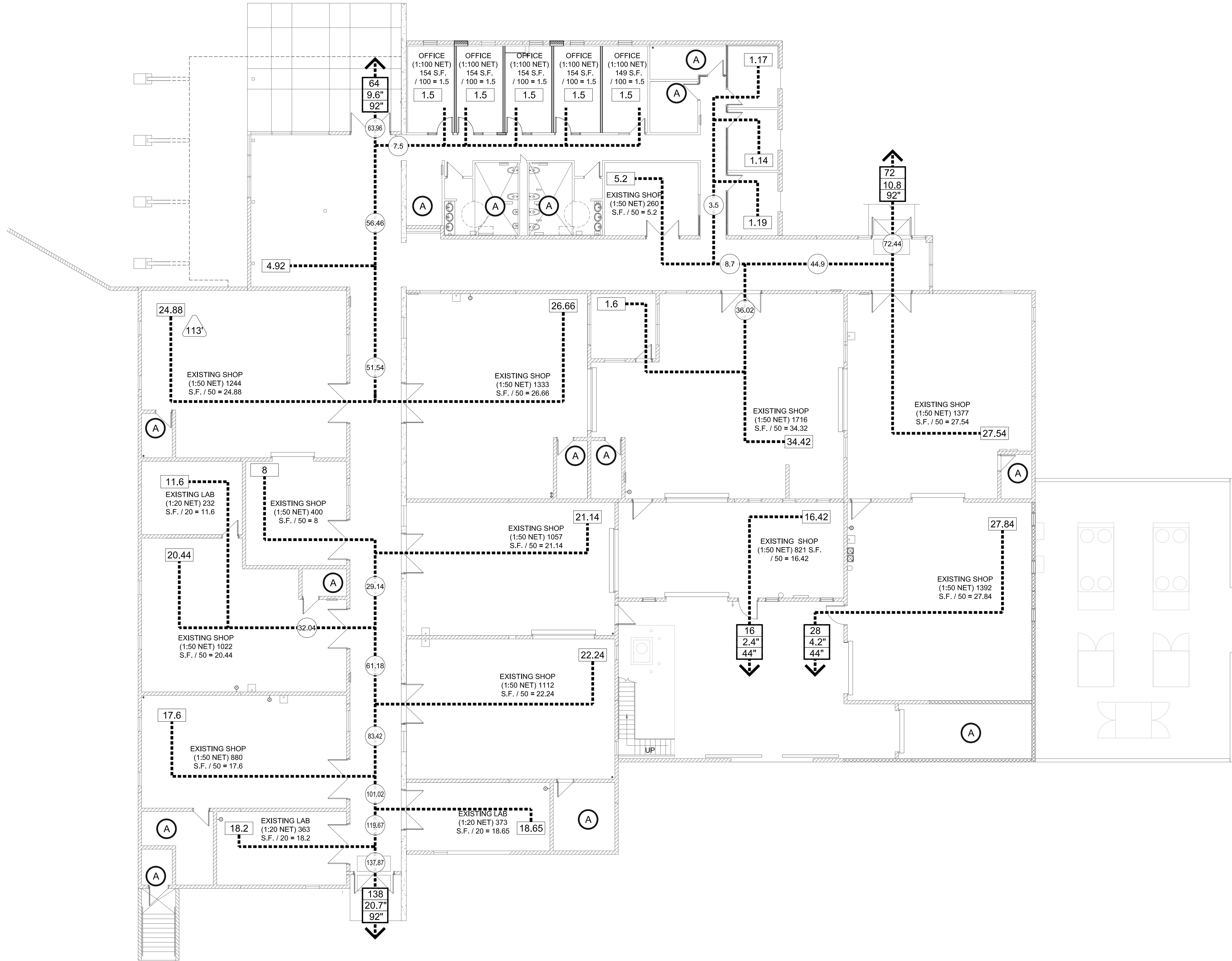
FUNCTION OF SPACE	OCCUPANT LOAD FACTOR
CLASSROOM / LAB	20 NET
SHOP	50 NET
OFFICE	100 GROSS

## Occupant load

NOTE:  
GROSS SQUARE FOOTAGE LISTED BELOW DOES NOT INCLUDE ACCESSORY AREAS.

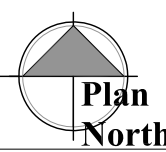
OFFICE AREA:	1,767 SQ. FT.	18 OCCUPANTS
SHOP AREAS:	12,614 SQ. FT.	252 OCCUPANTS
CLASSROOMS/LABS:	968 SQ. FT.	46 OCCUPANTS
TOTAL:	15,349 SQ. FT.	316 OCCUPANTS

NOTE:  
PROVIDE A 6"x9" BLUE TACTILE 'EXIT' SIGN AS MANUFACTURED BY 'SIMPLY EXIT SIGNS (#SE-1980)' OR EQUAL COMPLYING WITH ICCA117.1 AND IBC 1011.3 ADJACENT TO EACH DOOR TO AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE. SIGN SHALL BE MOUNTED 60" A.F.F. TO THE CENTER OF THE SIGN.



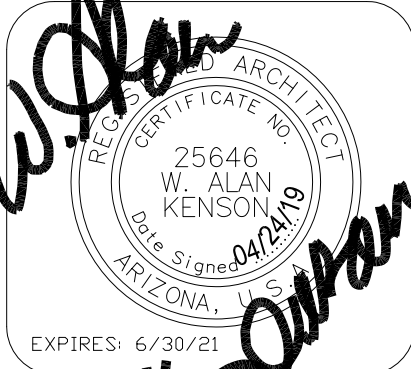
## Occupancy / Egress / Overall Floor Plan

Scale: 3/32"=1'-0"



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**ARCHITECTURE & PLANNING**

**DRAWING:** Occupancy / Egress / Overall Floor Plan

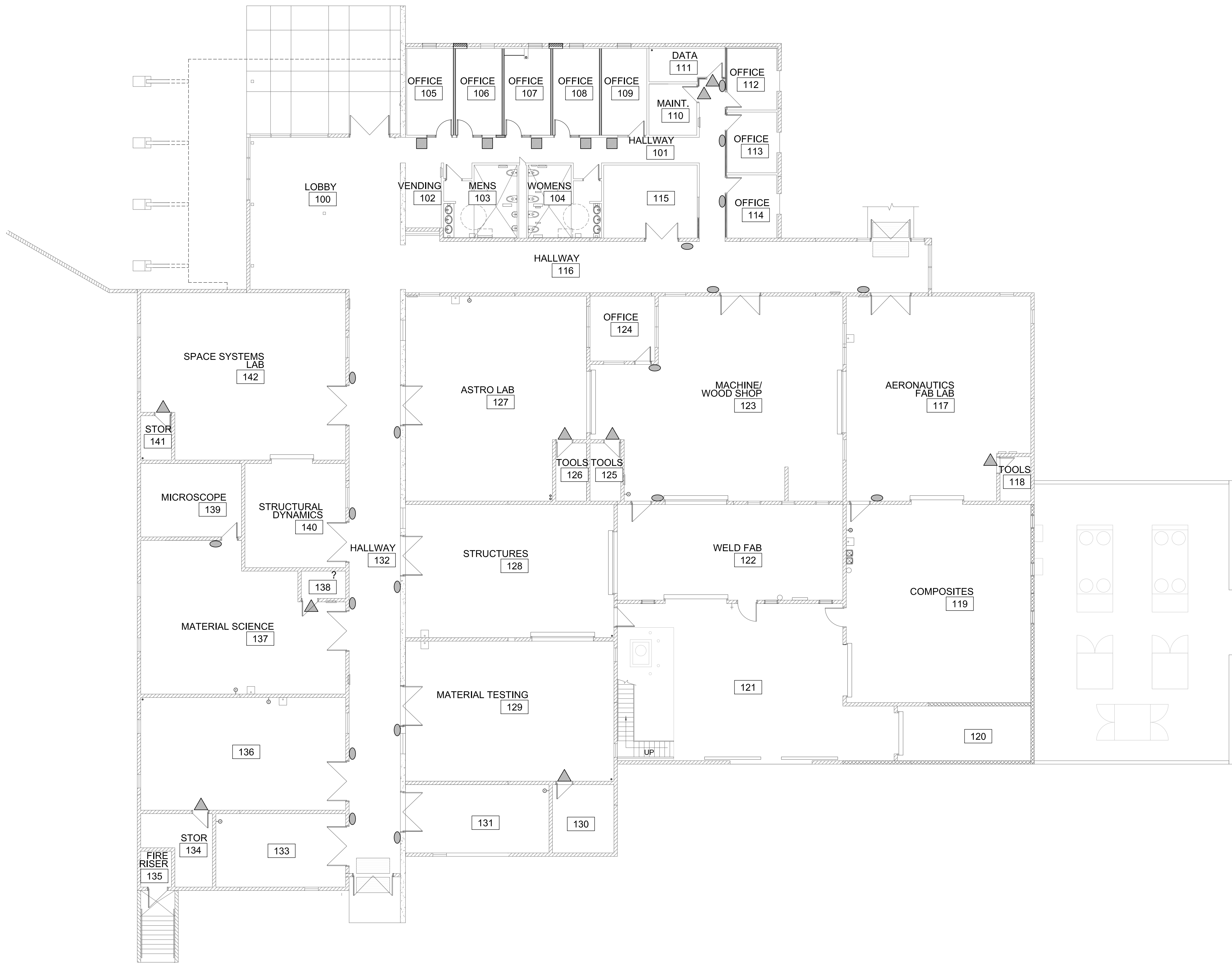
**PROJECT:** ERAU Building 75 Office Remodel  
3700 Willow Creek Road  
Prescott, AZ 86301

**APN:** 106-03-004

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CS2

Apr 25, 2019 - 2:16pm



## Legend

- LOCATION OF EXISTING ROOM SIGNAGE PLACARD REQUIRING PLASTIC INSERT TO BE REPLACED. PLASTIC INSERT TO BE PROVIDED BY OWNER.
- ▲ LOCATION OF EXISTING 2"x4" PLASTIC ROOM NUMBER ABOVE DOOR ON METAL FRAME. REMOVE EXISTING PLASTIC ROOM NUMBER AND REPLACE WITH OWNER PROVIDED PLASTIC ROOM NUMBER.
- LOCATION OF PROPOSED ROOM SIGNAGE PLACARD. PLACARD AND PLASTIC INSERT ARE TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.

TOTAL QUANTITY OF SIGNS: 33



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**ARCHITECTURE & PLANNING**

**DRAWING:** Room Signage

**PROJECT:** ERAU Building 75 Office Remodel  
3700 Willow Creek Road  
Prescott, AZ 86301

**APN:** 106-03-004

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**CS3**



Apr 25, 2019 - 2:05pm

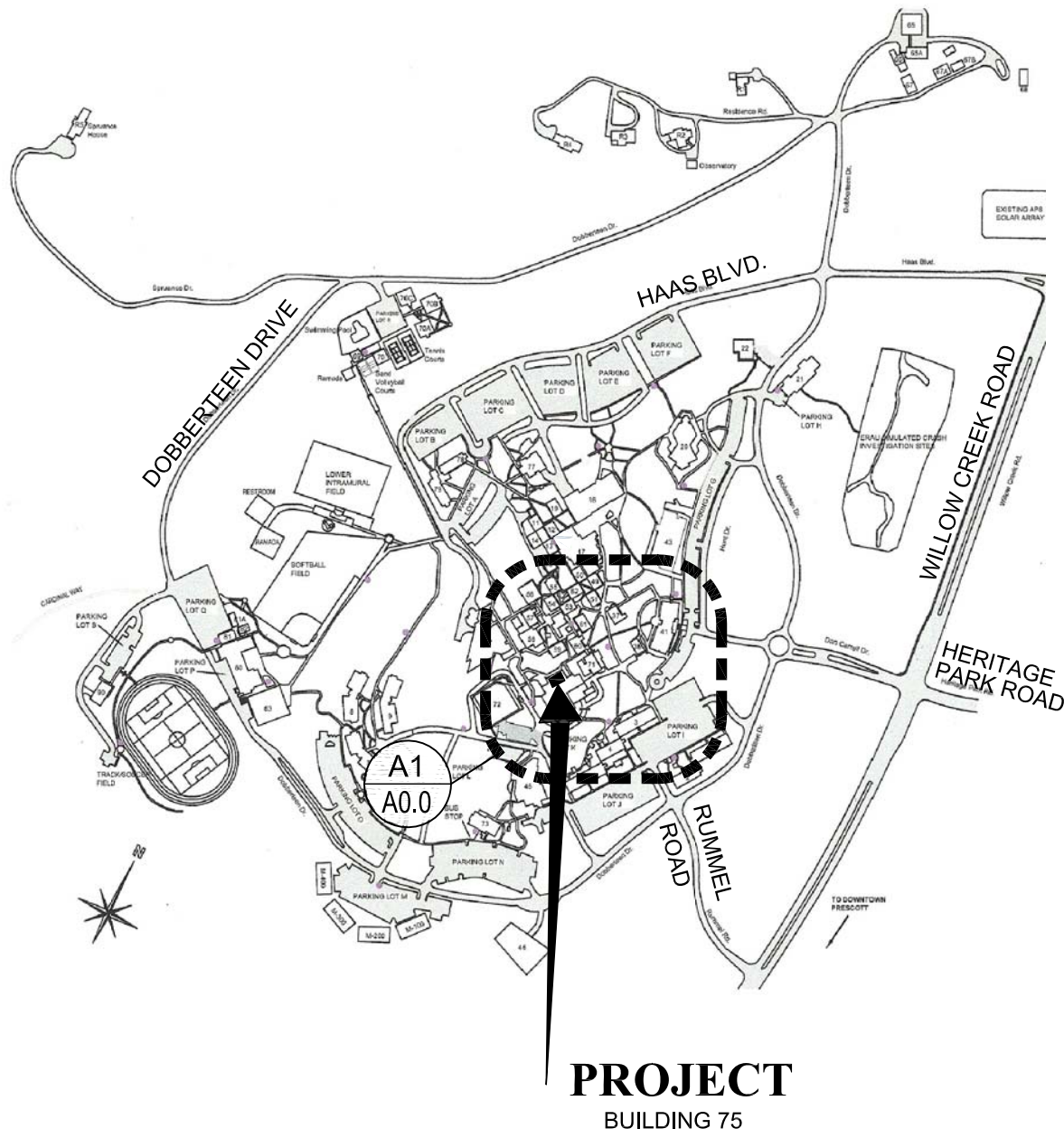


- Descriptive Keynotes
1.

LOCATION FOR J-JON.
2.

LOCATION OF 6 YARD TRASH DUMPSTER PROVIDED BY CONTRACTOR.
3.

CONTRACTOR PARKING AREA. 10 SPACES AVAILABLE. CONTRACTOR TO PROVIDE SIGNAGE DESIGNATING SPACES FOR CONSTRUCTION PARKING.



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Prescott, AZ 86304

ARCHITECTURE & PLANNING

DRAWING: Construction Access Plan

PROJECT: ERAU Building 75 Office Remodel  
3700 Willow Creek Road  
Prescott, AZ 86301

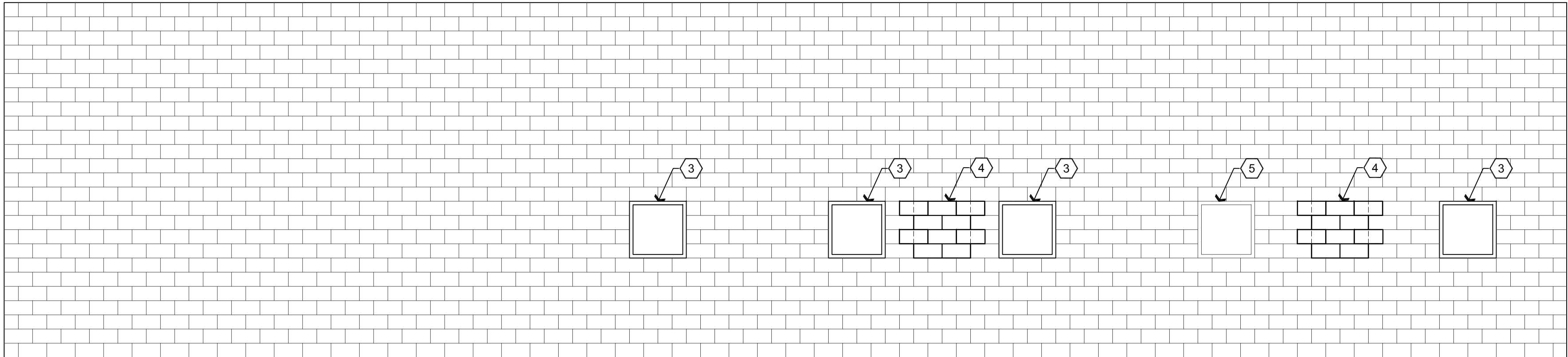
APN: 106-03-004

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DATE April 25th, 2019
JOB NO. 731
SHEET

A0.0

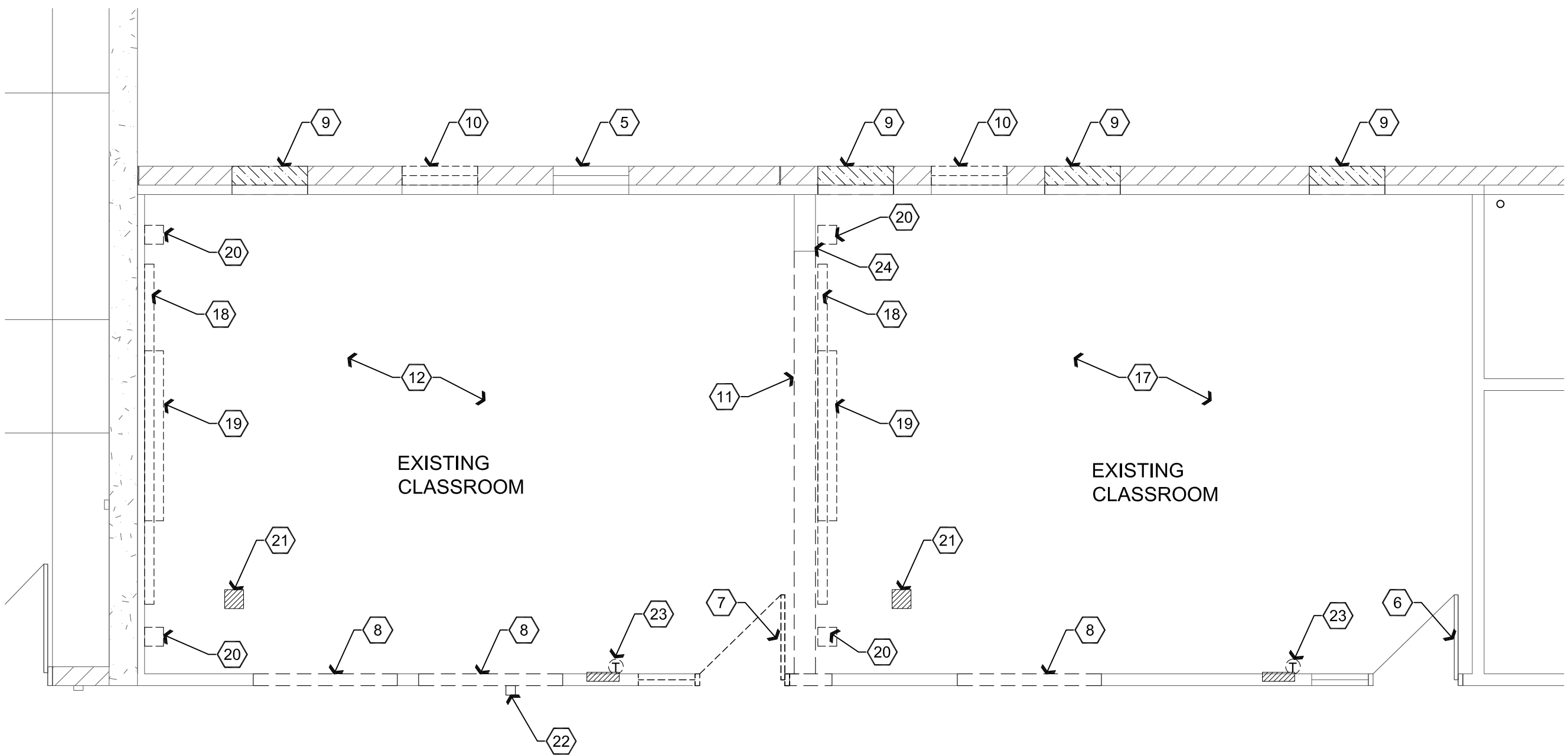


Apr 25, 2019 - 2:05pm



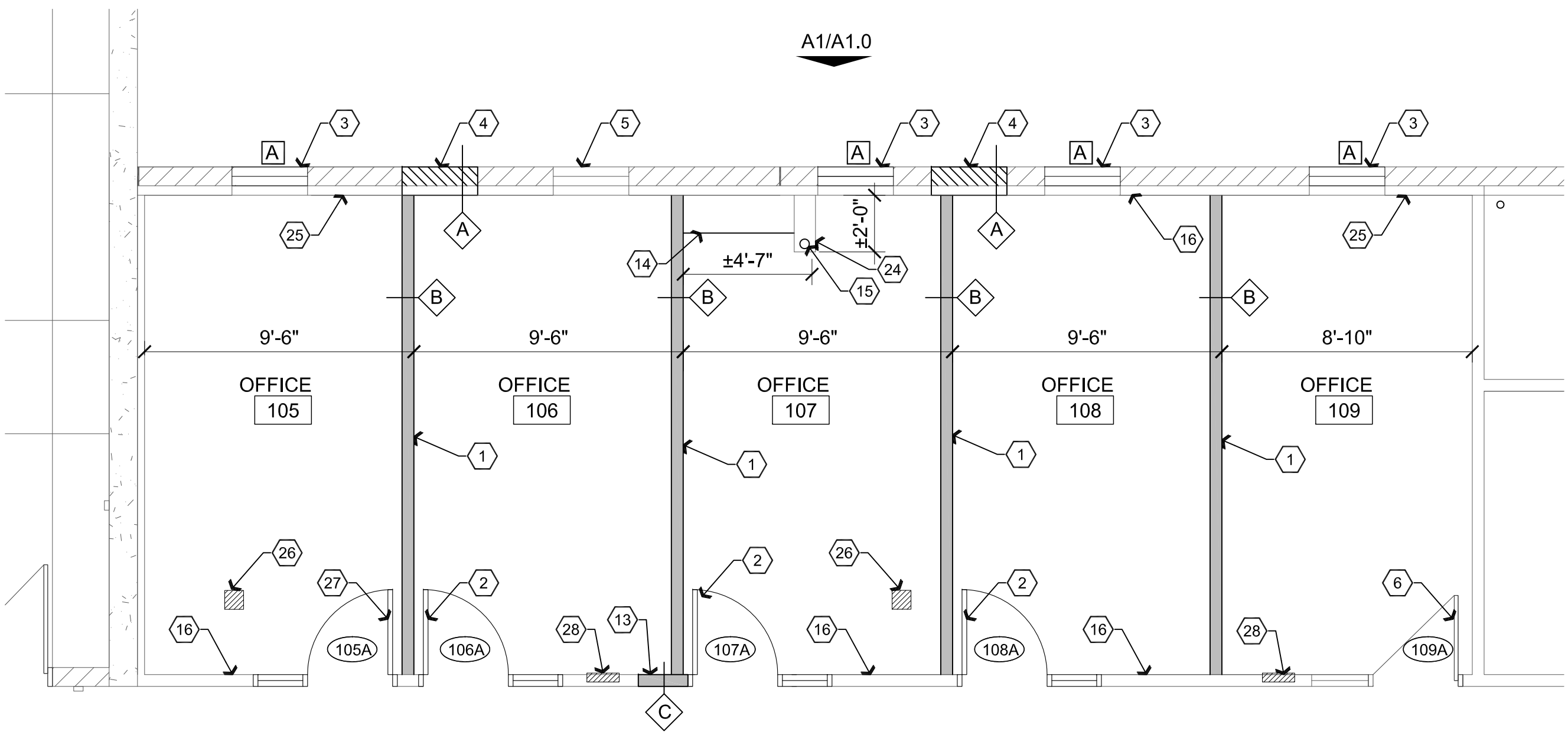
**A1** Exterior Elevation

Scale: 1/4"=1'-0"



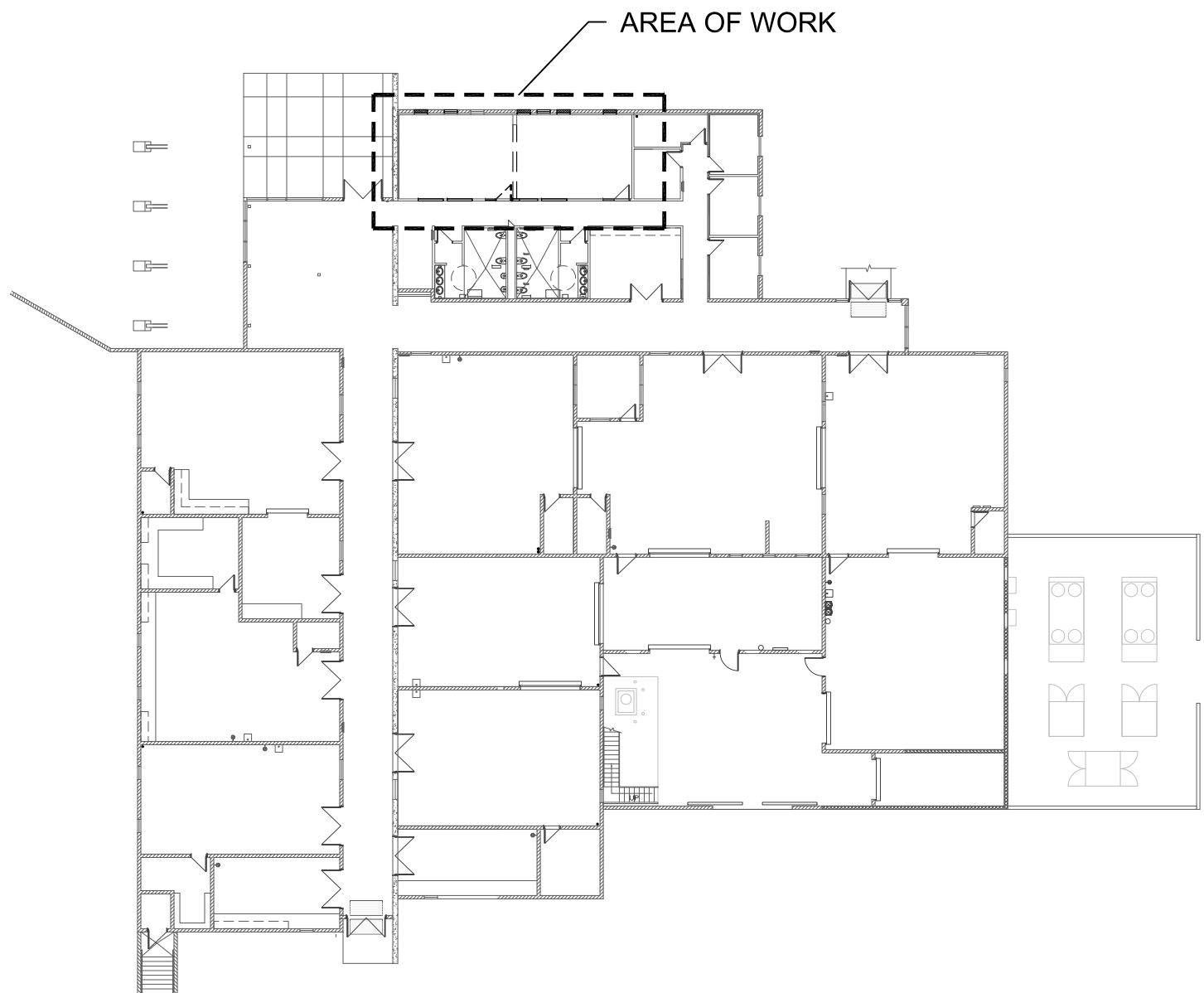
**A2** Demolition Floor Plan

Scale: 1/4"=1'-0"



**A3** Reference / Dimension / Wall Types Floor Plan

Scale: 1/4"=1'-0"



**B1** Existing Building 75 Key Plan

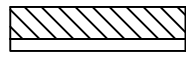


Scale: 1/16"=1'-0"



## Descriptive Keynotes

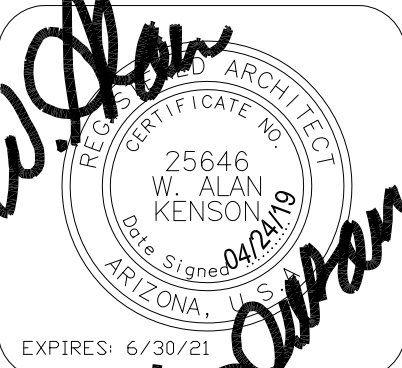
1. PROVIDE NEW WALL. REFER TO WALL TYPES.
2. PROVIDE DOOR, REFER TO DOOR SCHEDULE.
3. PROVIDE WINDOW, REFER TO WINDOW TYPES.
4. FILL IN OPENING WITH 'TOOTHED IN' CMU TO MATCH EXISTING. CMU-1
5. EXISTING WINDOW TO REMAIN.
6. EXISTING DOOR TO REMAIN.
7. RELOCATE EXISTING DOOR, SIDE LIGHT AND FRAME, TO BE RE-USED. RETURN ACCESS HARDWARE TO ERAU MATERIALS MANAGEMENT.
8. REMOVE PORTION OF EXISTING WALL FOR NEW DOOR LOCATION.
9. REMOVE PORTION OF EXISTING CMU WALL FOR NEW WINDOW LOCATION.
10. REMOVE EXISTING WINDOW.
11. REMOVE PORTION OF EXISTING WALL UP TO  $\pm 1'-0"$  ABOVE PROPOSED CEILING.
12. REMOVE EXISTING CARPET.
13. INFILL WALL WHERE DOOR WAS REMOVED.
14. PROVIDE FIVE ADJUSTABLE SHELVES.
15. EXISTING ROOF DRAINAGE PIPE.
16. EXISTING WALL, REPAIR AS REQUIRED TO MATCH EXISTING.
17. EXISTING CONCRETE. NO FLOOR COVERING THIS ROOM.
18. EXISTING WHITE BOARD TO BE REMOVED AND RETURNED TO ERAU MATERIALS MANAGEMENT.
19. EXISTING PROJECTION SCREEN TO BE REMOVED AND RETURNED TO ERAU MATERIALS MANAGEMENT.
20. EXISTING SPEAKERS TO BE REMOVED AND RETURNED TO ERAU MATERIALS MANAGEMENT.
21. EXISTING ELECTRICAL FLOOR BOX TO REMAIN.
22. EXISTING FIRE ALARM STROBE / HORN TO BE RELOCATED AS REQUIRED.
23. EXISTING THERMOSTAT.
24. EXISTING 4" WALL CLEANOUT.
25. EXISTING 5" FURRED OUT WALL.
26. COVER ELECTRICAL FLOOR BOX WITH CARPET INSERT.
27. RELOCATED DOOR, SIDE LIGHT AND FRAME.
28. INFILL / REPAIR GPDW WHERE LIGHT SWITCHES WERE REMOVED TO MATCH EXISTING.

## Wall Types

- A**  EXTERIOR WALL : INFILL EXISTING CMU WALL WITH 'TOOTHED IN' CMU WHERE WINDOW WAS REMOVED, TO MATCH EXISTING. INFILL FURRED OUT METAL STUD WALL TO MATCH EXISTING.
- B**  INTERIOR PARTITION WALL: PROVIDE TO 6" ABOVE CEILING, 3- $\frac{3}{8}$ " 25 GA. STEEL STUDS AT 2'-0" O.C. WITH 5/8" GPDW ON EXPOSED SIDES. PROVIDE R-11 UNFACED BATT INSULATION.
- C**  INTERIOR PARTITION WALL: PROVIDE 6" 25 GA. STEEL STUDS AT 2'-0" O.C. WITH 5/8" GPDW ON EXPOSED SIDES WITHIN REMOVED DOOR OPENING. PROVIDE R-11 UNFACED BATT INSULATION.

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**ARCHITECTURE & PLANNING**

**DRAWING:** Demolition Floor Plan and Reference Floor Plan

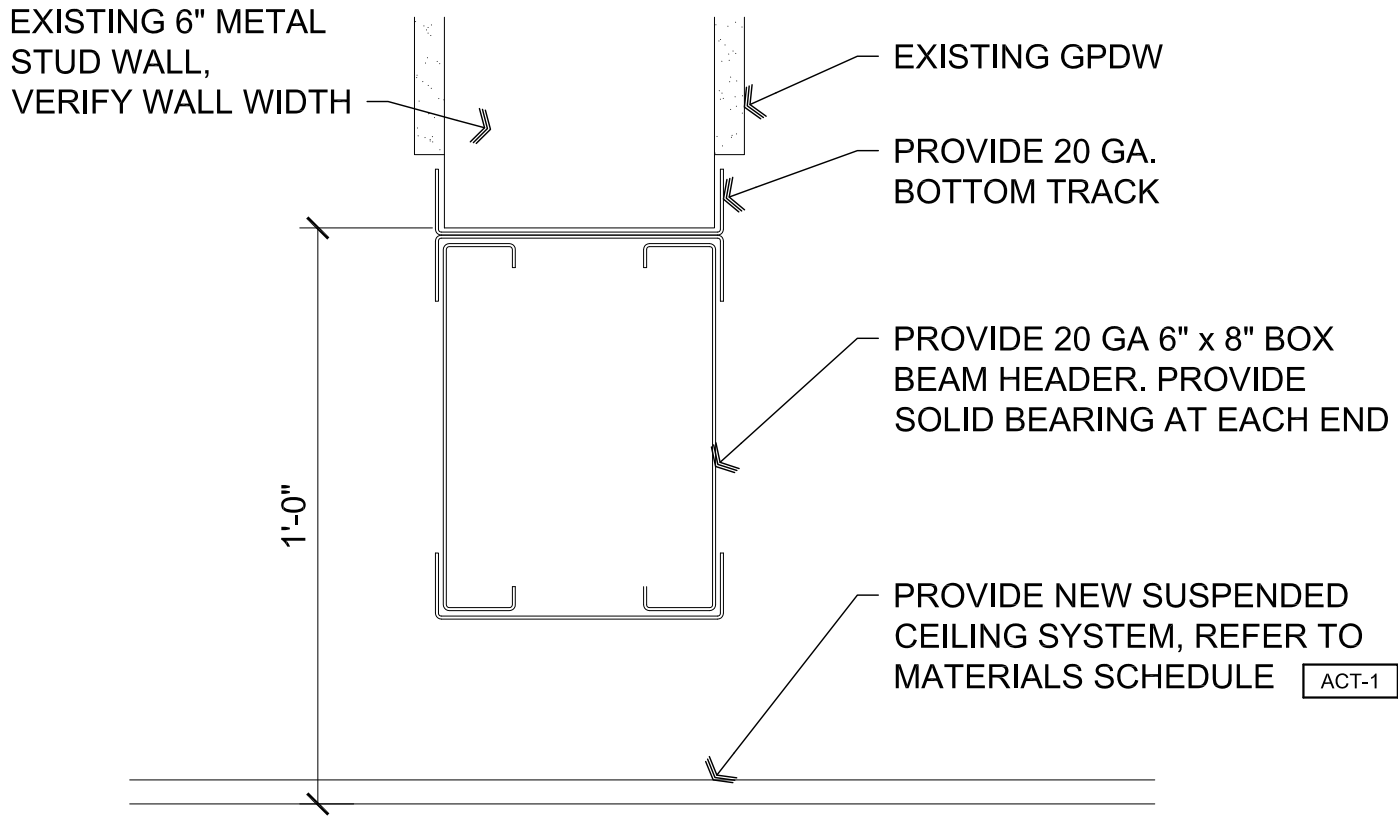
**PROJECT:** ERAU Building 75 Office Remodel  
3700 Willow Creek Road  
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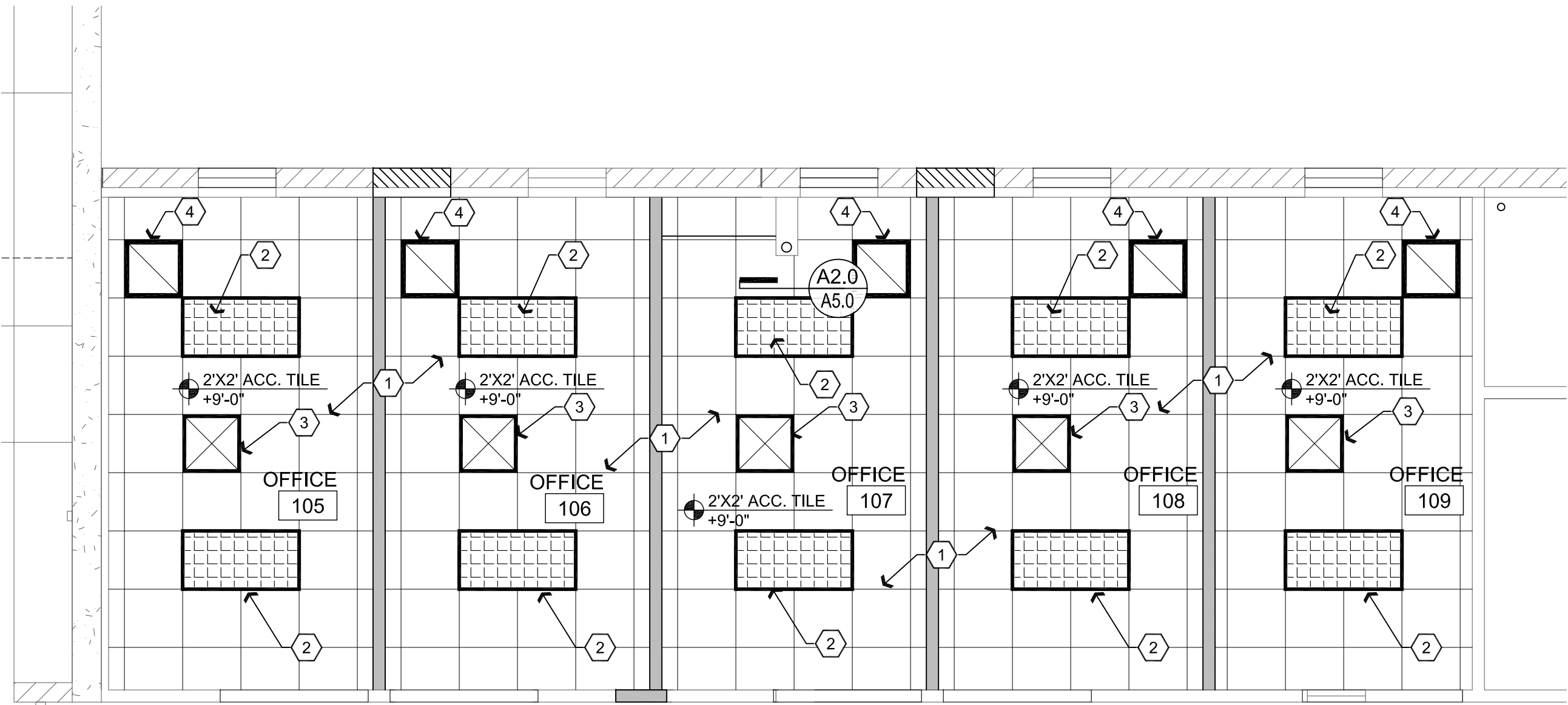
**A1.0**





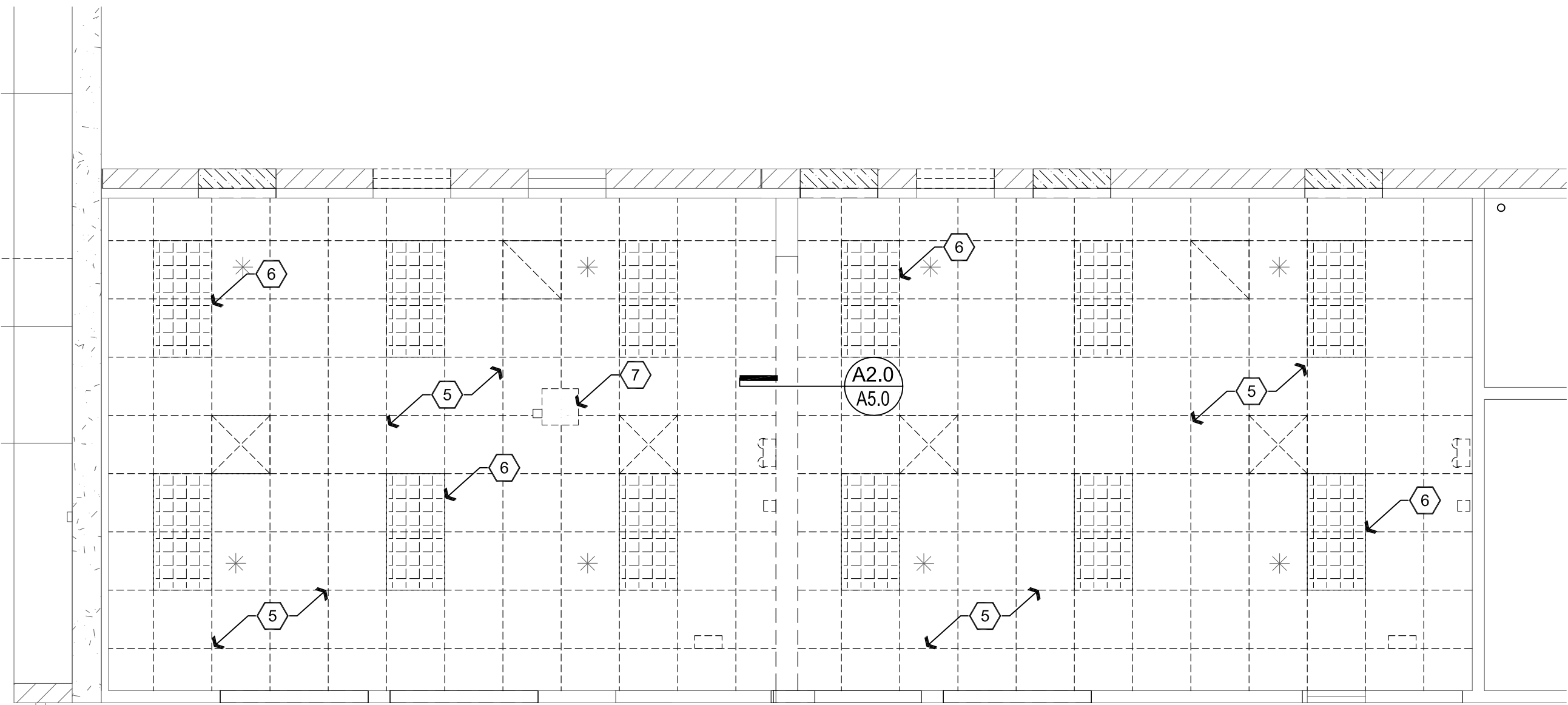
**A3** Header Detail

SCALE: 3" = 1'-0"



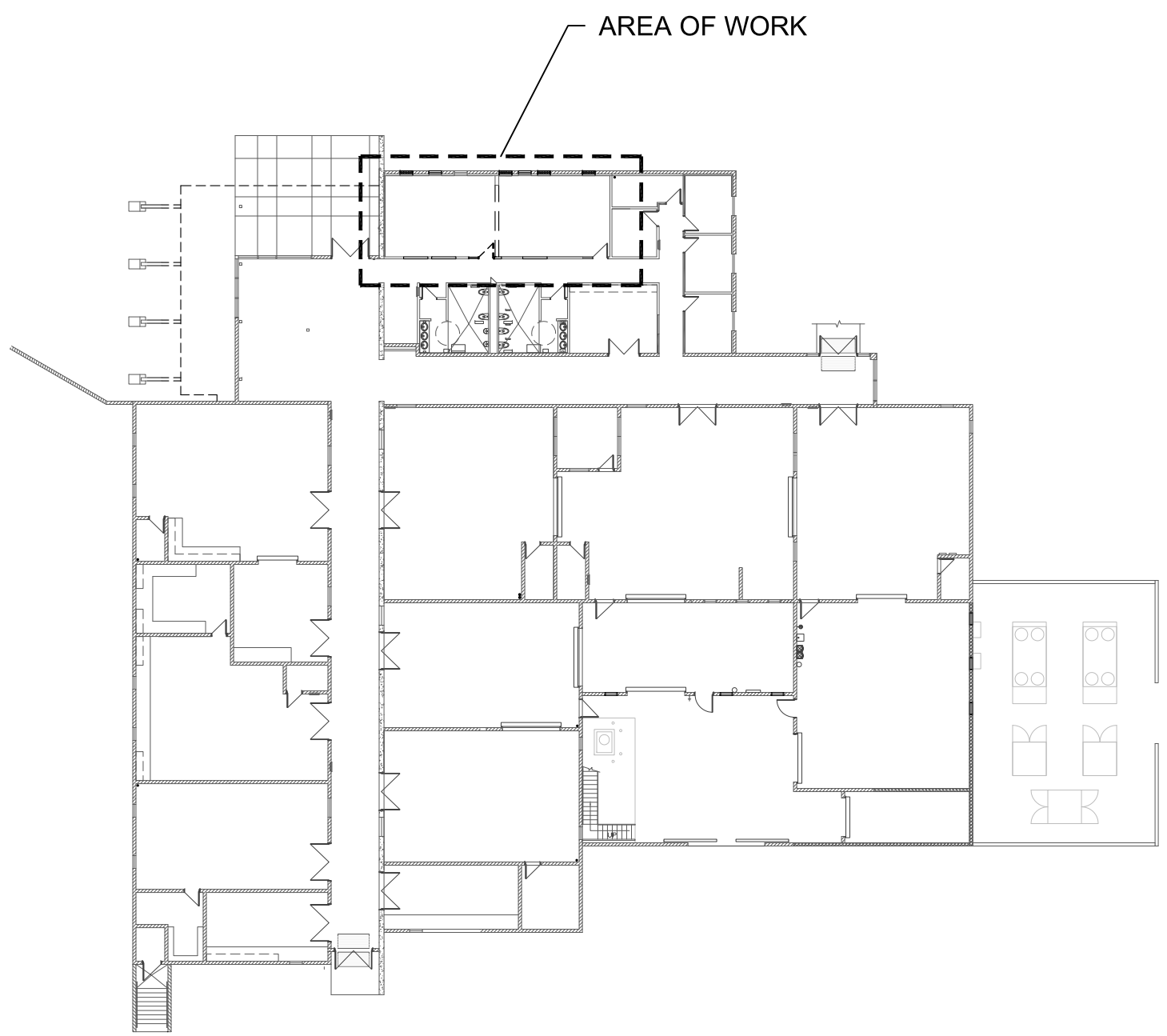
**A2** Reflected Ceiling Plan

Scale: 1/4"=1'-0"



**A1** Demolition Reflected Ceiling Plan

Scale: 1/4"=1'-0"



**B1** Existing Building 75 Key Plan

Scale: 1/16"=1'-0"



**Descriptive Keynotes**

1. PROVIDE NEW SUSPENDED CEILING. [ACT-1]
2. RELOCATED LIGHT FIXTURES. REFER TO ELECTRICAL PLANS.
3. HVAC SUPPLY, TYPICAL. REFER TO MECHANICAL PLANS.
4. HVAC RETURN, TYPICAL. REFER TO MECHANICAL PLANS.
5. REMOVE ENTIRE SUSPENDED CEILING THIS AREA, INCLUDING ALL MECHANICAL, ELECTRICAL, & LOW VOLTAGE.
6. REMOVE EXISTING LIGHTING. TO BE RELOCATED / RETURNED TO ERAU MATERIALS MANAGEMENT, REFER TO ELECTRICAL PLANS.
7. REMOVE EXISTING PROJECTOR AND RETURN TO ERAU MATERIALS MANAGEMENT.

**Legend**

- [Grid pattern] 2'x2' ACOUSTICAL PANEL CEILING AND GRID TO BE REMOVED
  - [Grid pattern with dots] LIGHT FIXTURE TO BE RELOCATED
  - [Box with X] 2'x2' HVAC SUPPLY DIFFUSER TO BE REMOVED
  - [Box with diagonal line] 2'x2' HVAC RETURN TO BE REMOVED
  - [Grid pattern] NEW 2'x2' ACOUSTIC PANEL CEILING [ACT-1]
  - [Grid pattern with dots] RELOCATED LIGHT FIXTURE
  - [Box with X] NEW 2'x2' HVAC SUPPLY DIFFUSER
  - [Box with diagonal line] NEW 2'x2' HVAC RETURN
  - [Star symbol] EXISTING SPRINKLER HEAD
- NOTE:  
REFER TO ELECTRICAL AND MECHANICAL PLANS.

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**DRAWING:** Demolition and Proposed Reflected Ceiling Plans

**PROJECT:** ERAU Building 75 Office Remodel  
3700 Willow Creek Road  
Prescott, AZ 86301

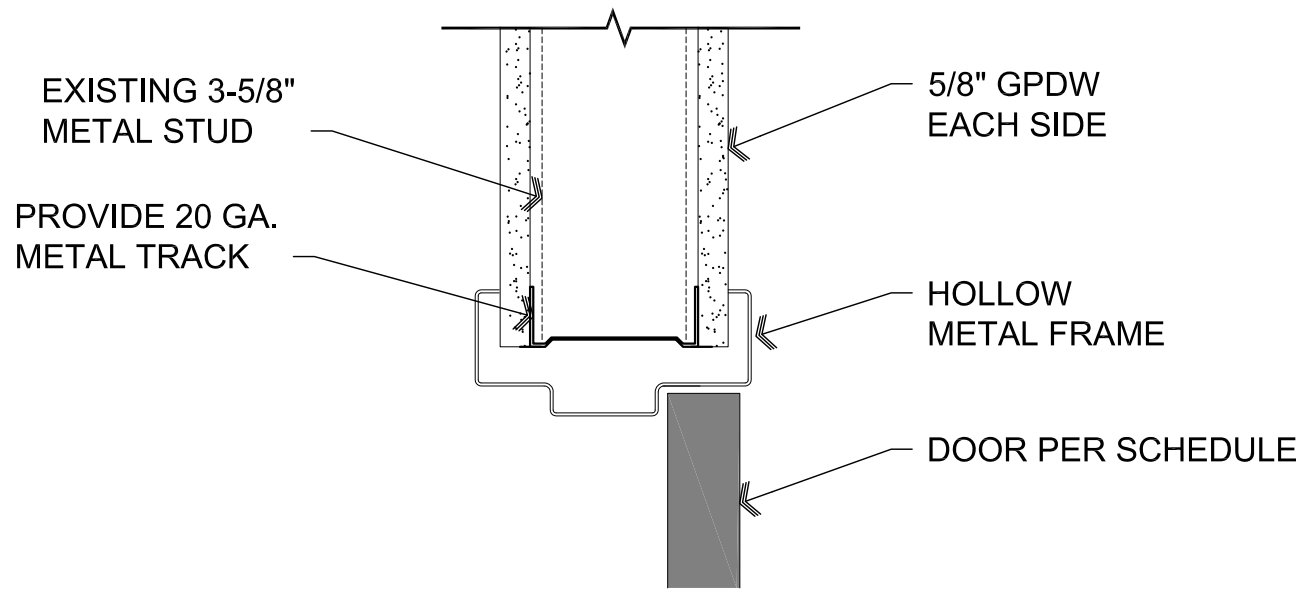
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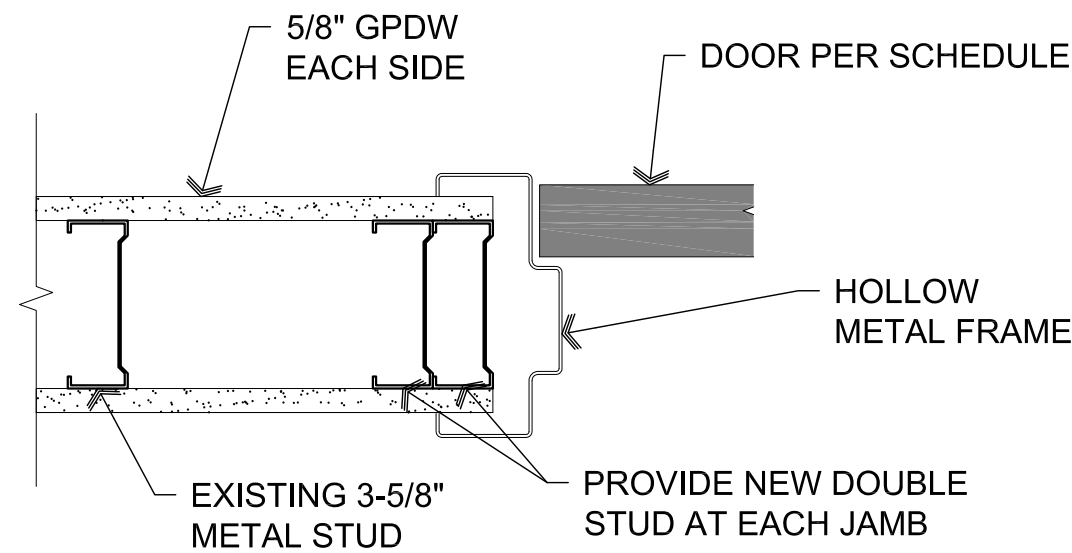
**A2.0**



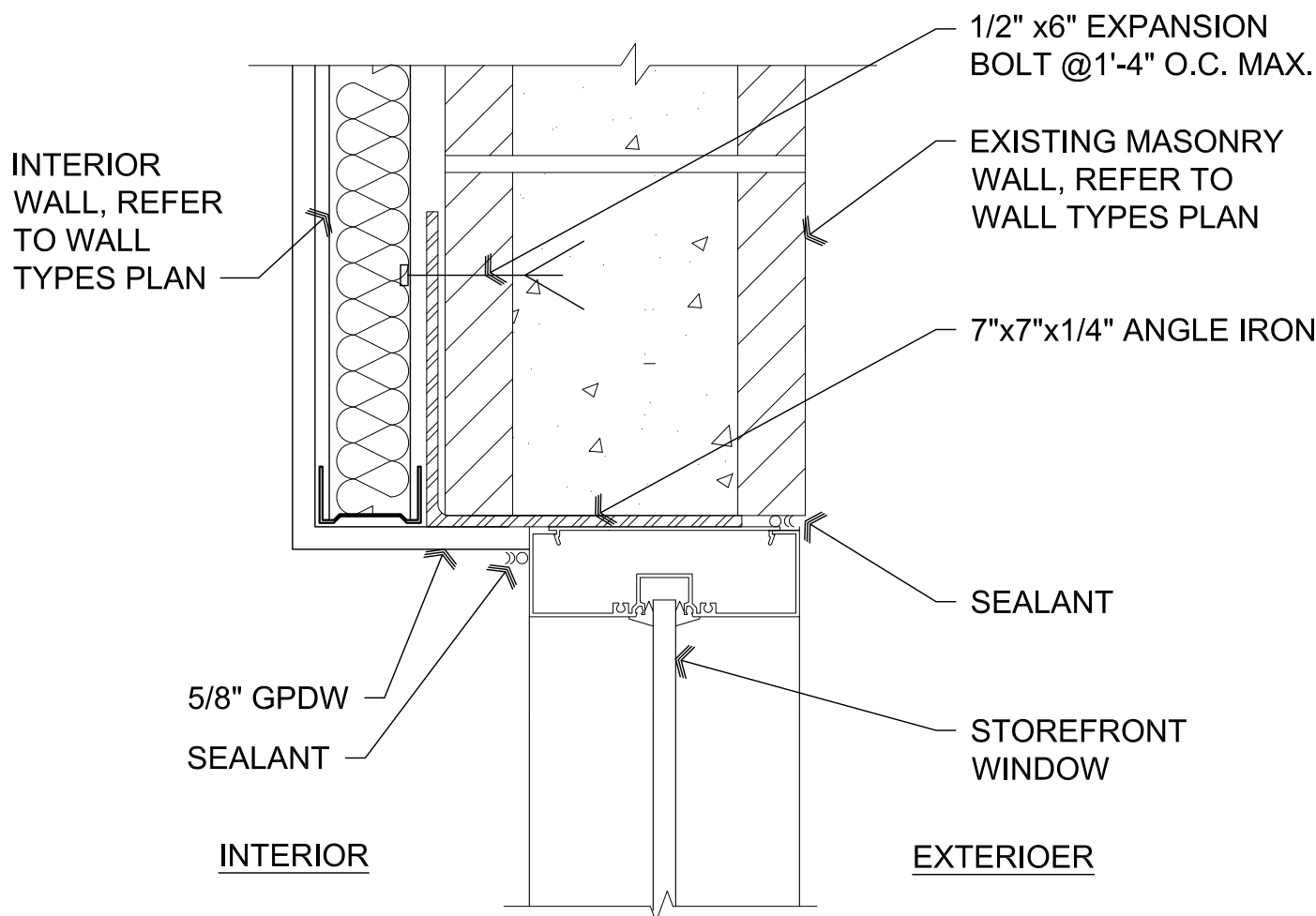
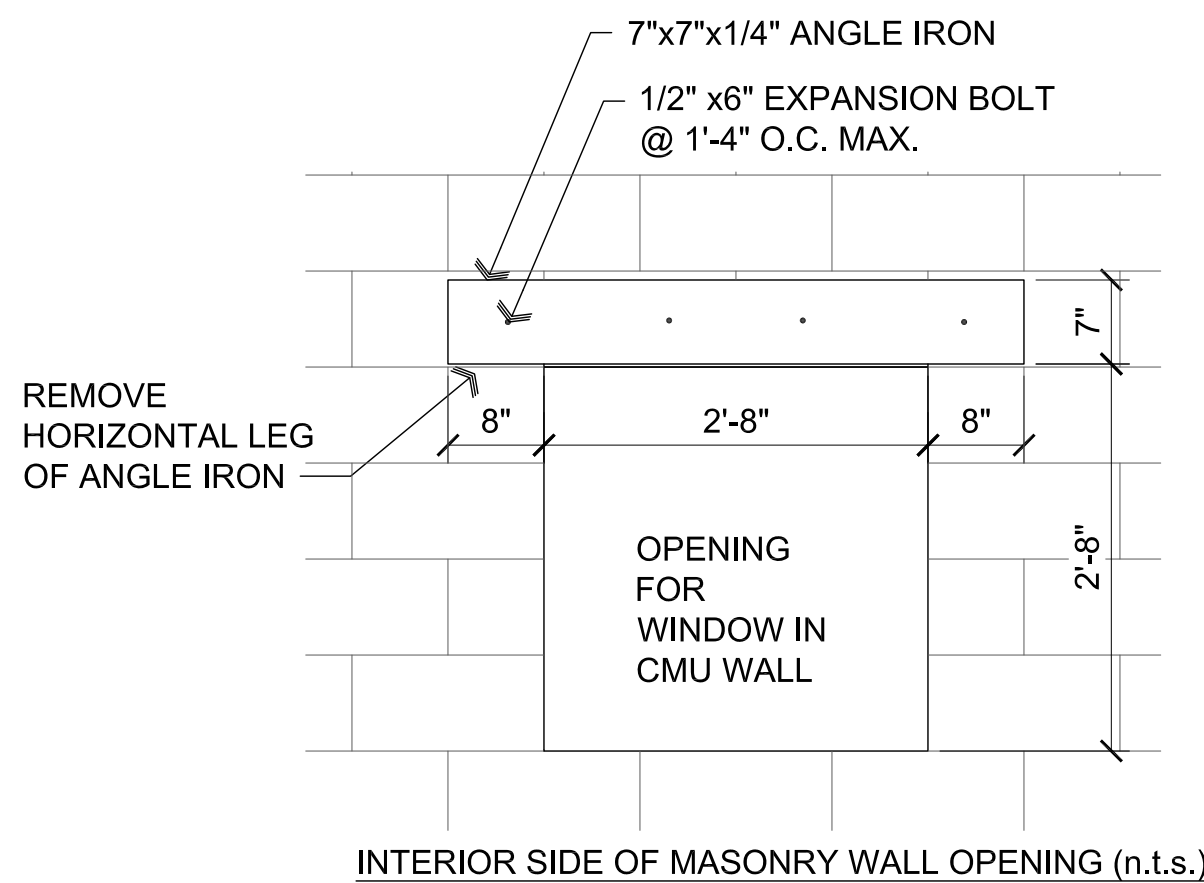
Apr 25, 2019 - 2:08pm



**A3 Door Head @ Framed Wall**  
SCALE: 3" = 1'-0"



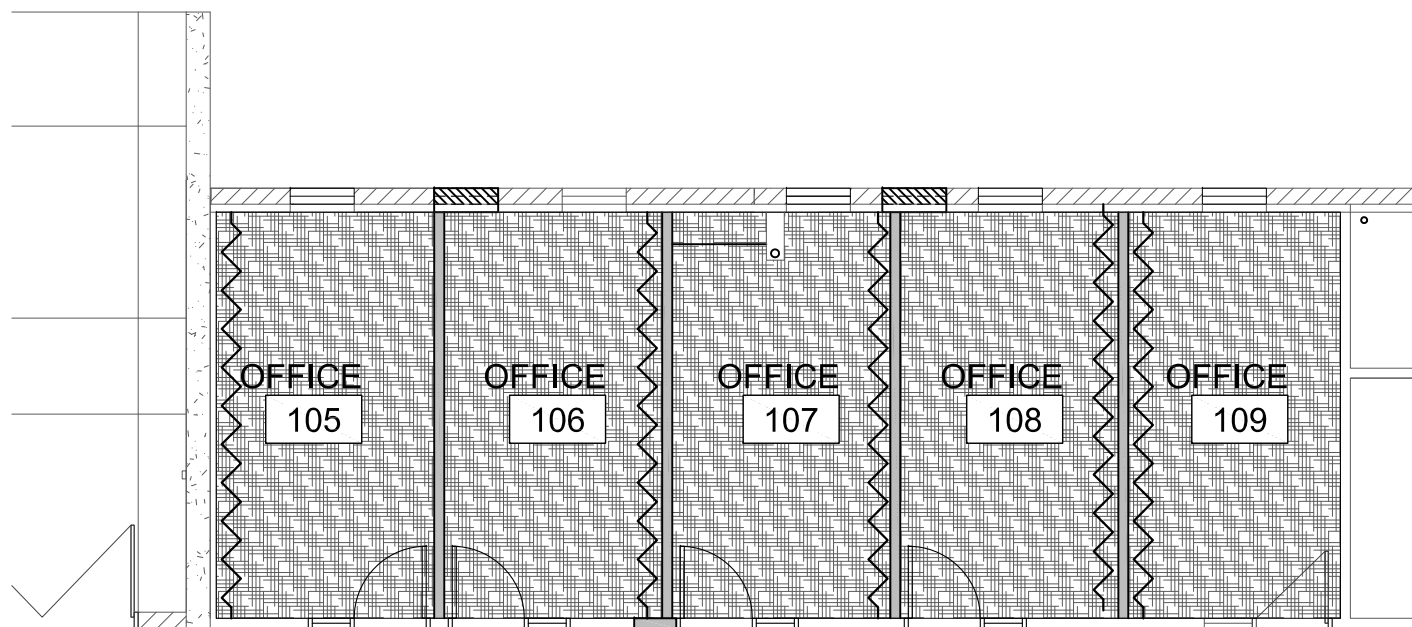
**A2 Door Jamb @ Framed Wall**  
SCALE: 3" = 1'-0"



**A1 Window Head at Existing CMU Wall**  
SCALE: 3" = 1'-0"

Room Finish Schedule						
NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	HEIGHT
105	OFFICE	F1	B1	W1	C1	9'-0"
106	OFFICE	F1	B1	W1	C1	9'-0"
107	OFFICE	F1	B1	W1	C1	9'-0"
108	OFFICE	F1	B1	W1	C1	9'-0"
109	OFFICE	F1	B1	W1	C1	9'-0"
FLOOR: F1 CARPET CPT-1						
WALLS: W1 PAINTED GPDW PT-1 ACCENT WALL PT-2						
BASE: B1 RUBBER BASE RB-1						
CEILING: C1 2x2 SUSPENDED ACOUSTICAL PANELS ACT-1						

Legend	
	CARPET CPT-1
	ACCENT WALL PT-2
VERIFY ACCENT PAIN COLOR SELECTION WITH OWNER	

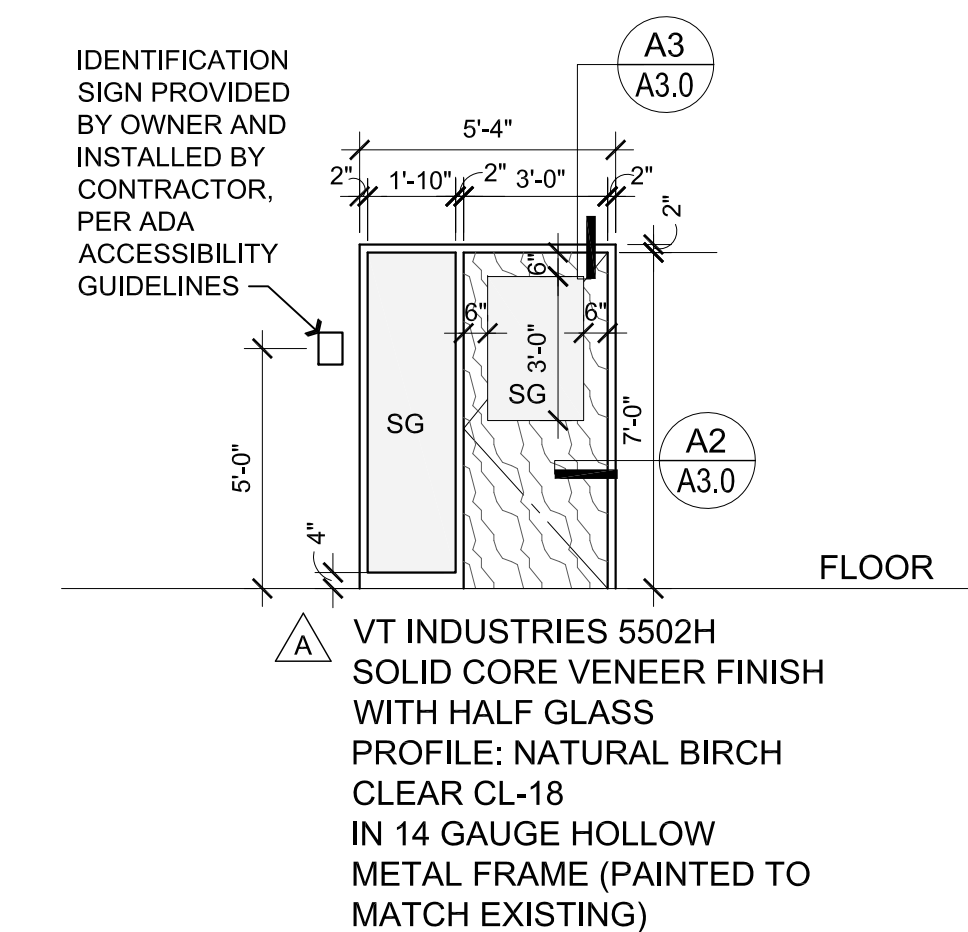


**B2 Room Finish Plan**  
Scale: 1/8"=1'-0"

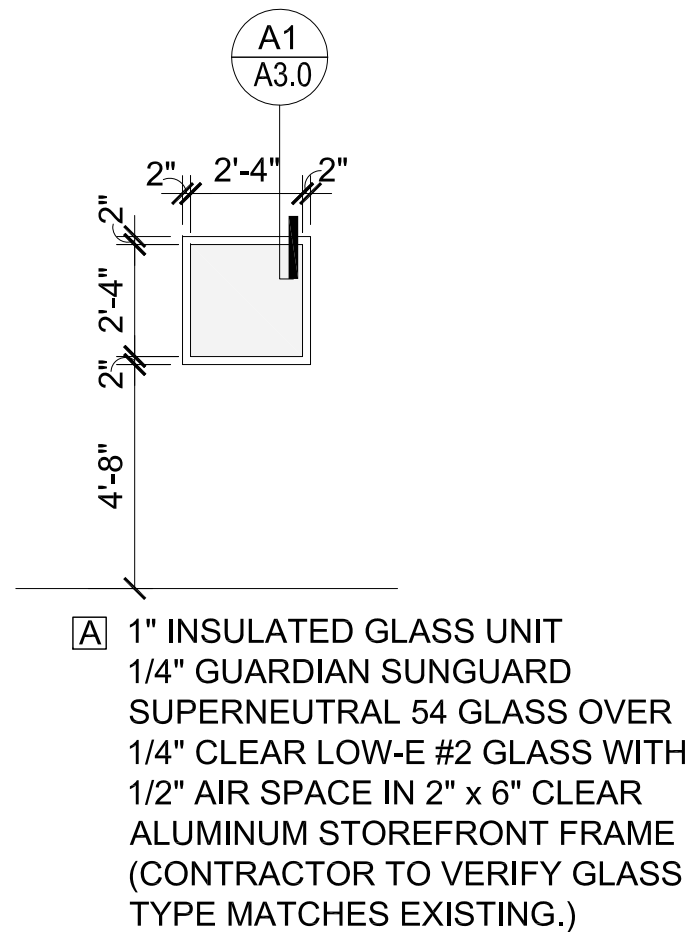
Materials schedule					XX- #
CODE	MATERIAL	LOCATION	MANUFACTURER	SPECIFICATION	
ACT-1	ACOUSTIC CEILING TILE AND GRID	REFER TO REFLECTED CEILING PLAN	ARMSTRONG	ASTM C 36; 2'x2' #770 NON DIRECTIONAL SQUARE LAY-IN TILE, WHITE SUSPENDED GRIDS; 15/16" METAL WHITE	
CPT-1	CARPET	OFFICES	TANDUS CENTIVA	CRAYON POWERBOND CUSHION RS PRECIOUS METAL #48010 (PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR)	
PT-1	PAINT	WALLS, INTERIOR DOORS, TRIM	SHERWIN WILLIAMS	PACER WHITE 6098 PROMAR 200 EGGSHELL	
PT-2	PAINT	ACCENT	SHERWIN WILLIAMS	BLONDE 6128 PROMAR 200 EGGSHELL	
RB-1	RUBBER BASE	ALL FLOORS	ARMSTRONG OR ROPPE	4" COVED WITH PRE-FORMED CORNERS, BLACK (PROVIDED AND INSTALLED BY CONTRACTOR)	
CMU-1	CONCRETE MASONRY UNIT	WINDOW INFILL	SUPERLIGHT	8x8x16, SANDBLASTED, INTEGRALLY COLORED STYLE: OLD CASTLE MESA STONE, COLOR: TO MATCH EXISTING TO BE DETERMINED	

Door Schedule								
NO.	ROOM NAME	SIZE	TYPE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE TYPE
105A	OFFICE	RELOCATED	RELOCATED	RELOCATED	RELOCATED	RELOCATED	RELOCATED	1
106A	OFFICE	3'-0"x7'-0"	A	SCWD	STAIN	HM	PAINT	1
107A	OFFICE	3'-0"x7'-0"	A	SCWD	STAIN	HM	PAINT	1
108A	OFFICE	3'-0"x7'-0"	A	SCWD	STAIN	HM	PAINT	1
109A	OFFICE	EXST	EXST	EXST	EXST	EXST	EXST	1
NOTES:								
1. ALL EXIT DOORS & HARDWARE SHALL COMPLY WITH THE 2012 I.B.C.								
2. DOOR THRESHOLDS SHALL HAVE A MAX HEIGHT OF 1/2" FOR H.C. ACCESSIBILITY. THRESHOLD SHALL HAVE A MAXIMUM RISE OF 1/4" AND 1/2" RISE WHEN BEVELED WITH MAXIMUM 1:2 SLOPE.								
3. ALL GLAZING IN DOORS SHALL BE SAFETY GLAZING.								
4. ALL INTERIOR DOORS SHALL BE OPERABLE FOR EMERGENCY EXITING PURPOSES WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE NOR EFFORT.								
5. ALL GLAZING WITHIN 24" OF OPENINGS SHALL BE SAFETY GLASS.								
6. IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.								
7. DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. HARDWARE REQUIRED FOR DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISH FLOOR.								
8. DOOR OPENING FORCE SHALL BE: 5lbf MAX INTERIOR HINGED, SLIDING OR FOLDING DOORS; FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.								

Hardware Schedule			
TYPE 1, EACH DOOR TO HAVE:			
QUANTITY	DESCRIPTION		MANUFACTURER
3	HINGE FBB179 4.5x4.5	626	STANLEY
1	ENTRY 9K3 7AB 15D S3 LSFIC	626	BEST
1	WALL STOP 236 W	626	HAGER
3	SILENCERS SR64	GRY	IVES
PERMANENT CORES BY ERAU			

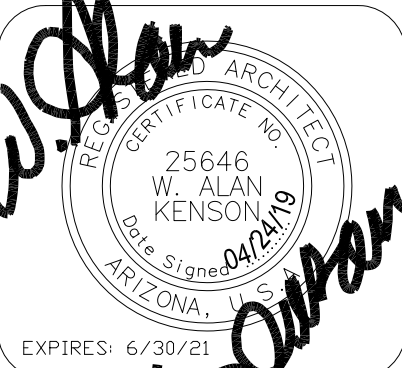


NOTE:  
REFER TO SHEET CS3 FOR LOCATIONS AND QUANTITY OF DOOR SIGNS TO BE INSTALLED.



REVISIONS	BY

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**ARCHITECTURE & PLANNING**

**DRAWING:** Schedules and Details

**PROJECT:** ERAU Building 75 Office Remodel  
3700 Willow Creek Road  
Prescott, AZ 86301

**APN:** 106-03-004

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE April 25th, 2019
JOB NO. 731
SHEET

**A3.0**



Specifications

DIVISION 1 - GENERAL REQUIREMENTS

SECTION 01000 - DEFINITIONS

- 1. DRAWING PLAN CLARIFICATION: AN ANSWER FROM THE ARCHITECT, IN RESPONSE TO AN INQUIRY FROM THE CONTRACTOR, INTENDED TO MAKE SOME REQUIREMENT(S) OF THE DRAWINGS OR PLANS CLEARLY UNDERSTOOD. DRAWING/PLAN CLARIFICATIONS MAY BE SKETCHES, DRAWINGS OR IN NARRATIVE FORM AND WILL NOT CHANGE ANY REQUIREMENTS OF THE DRAWINGS OR PLANS, RESPONSES TO CONTRACTOR INQUIRIES SHALL BE AS OUTLINED IN SECTION 01005.
- 2. PROJECT COMMUNICATIONS: ROUTINE WRITTEN COMMUNICATIONS BETWEEN THE ARCHITECT AND THE CONTRACTOR SHALL BE IN LETTER, FIELD MEMO, OR EMAIL FORMAT. SUCH COMMUNICATIONS SHALL NOT BE IDENTIFIED AS REQUESTS FOR INFORMATION NOR SHALL THEY SUBSTITUTE FOR ANY OTHER WRITTEN REQUIREMENT PURSUANT TO THE PROVISIONS OF THE CONTRACT DOCUMENTS.
- 3. REQUEST FOR INFORMATION: A REQUEST FROM THE CONTRACTOR OR ONE OF THEIR SUBCONTRACTORS, TO THE ARCHITECT, SEEKING AN INTERPRETATION OR A CLARIFICATION OF SOME REQUIREMENT OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL CLEARLY AND CONCISELY SET FORTH THE ISSUE FOR WHICH THEY SEEK CLARIFICATION OR INTERPRETATION AND WHY A RESPONSE IS NEEDED FROM THE ARCHITECT. THE CONTRACTOR SHALL, IN THE WRITTEN REQUEST, SET FORTH ITS INTERPRETATION OR UNDERSTANDING OF THE CONTRACT'S REQUIREMENTS ALONG WITH REASONS WHY IT HAS REACHED SUCH AN UNDERSTANDING. RESPONSES FROM THE ARCHITECT WILL NOT CHANGE ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS. RESPONSES TO CONTRACTOR INQUIRIES SHALL BE AS OUTLINED IN SECTION 01005

SECTION 01005 - REQUEST FOR INFORMATION (RFI) PROCEDURES

- 1. ALL RFIS SHALL BE SUBMITTED TO ARCHITECT VIA EMAIL IN WORD DOCUMENT (.DOC) OR ADOBE (.PDF) FORMATS ONLY. EMAIL ADDRESS IS WAKA@CABLEONE.NET. ANY OTHER TYPE OF SUBMITTAL PROCESS OR PROCEDURE WILL NOT BE RESPONDED TO.
- 2. IN THE EVENT THAT THE CONTRACTOR OR SUBCONTRACTOR, AT ANY TIME, DETERMINES THAT SOME PORTION OF THE DRAWINGS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS REQUIRES CLARIFICATION OR INTERPRETATION BY THE ARCHITECT, THE CONTRACTOR SHALL SUBMIT AN RFI TO THE ARCHITECT. RFIS MAY ONLY BE SUBMITTED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL CLEARLY AND CONCISELY SET FORTH THE ISSUE OF WHICH CLARIFICATION OR INTERPRETATION IS SOUGHT AND WHY A RESPONSE IS NEEDED FROM THE ARCHITECT. IN THE RFI, THE CONTRACTOR SHALL SET FORTH THEIR INTERPRETATION OR UNDERSTANDING OF THE REQUIREMENT ALONG WITH REASONS WHY SUCH AN UNDERSTANDING WAS REACHED.
- 3. THE ARCHITECT ACKNOWLEDGES THAT THIS IS A COMPLEX PROJECT BASED UPON THE ARCHITECT'S PAST EXPERIENCE WITH PROJECTS OF SIMILAR COMPLEXITY.
- 4. THE ARCHITECT WILL REVIEW ALL PROPERLY SUBMITTED RFIS TO DETERMINE WHETHER THEY ARE RFIS WITHIN THE MEANING OF THIS TERM. IF THE ARCHITECT DETERMINES THAT THE DOCUMENT IS NOT AN RFI, IT WILL BE RETURNED TO THE CONTRACTOR, UN-REVIEWED AS TO CONTENT, FOR RE-SUBMITTAL IN THE PROPER FORM.
- 5. RESPONSES TO RFIS SHALL BE ISSUED WITHIN SEVEN (7) WORKING DAYS OF RECEIPT OF THE REQUEST FROM THE CONTRACTOR UNLESS THE ARCHITECT DETERMINES THAT A LONGER TIME IS NECESSARY TO PROVIDE AN ADEQUATE RESPONSE. IF A LONGER TIME IS DETERMINED NECESSARY BY THE ARCHITECT, THE ARCHITECT WILL WITHIN FIVE (5) WORKING DAYS OF RECEIPT OF THE REQUEST, NOTIFY THE CONTRACTOR OF THE ANTICIPATED RESPONSE TIME. IF THE CONTRACTOR SUBMITS AN RFI ON AN ACTIVITY WITH SEVEN(7) WORKING DAYS OR LESS OF FLOAT ON THE CURRENT PROJECT SCHEDULE THE CONTRACTOR SHALL NOT BE ENTITLED TO ANY TIME EXTENSION DUE TO THE TIME IT TAKES THE ARCHITECT TO RESPOND TO THE REQUEST PROVIDED THAT THE ARCHITECT RESPONDS WITHIN THE SEVEN (7) WORKING DAYS SET FORTH ABOVE.
- 6. ARCHITECT WILL RESPOND TO ALL RFIS VIA EMAIL TO ONE CONTACT IN THE CONTRACTOR'S OFFICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FORWARDING THIS RESPONSE EMAIL TO ALL PERTINENT PERSONNEL, SUBCONTRACTORS AND SUPPLIERS.
- 7. RESPONSES FROM THE ARCHITECT WILL NOT CHANGE ANY REQUIREMENT OF THE CONTRACT DOCUMENTS. IN THE EVENT THE CONTRACTOR BELIEVES THAT A RESPONSE TO AN RFI WILL CAUSE A CHANGE TO THE REQUIREMENTS OF THE CONTRACT DOCUMENT, THE CONTRACTOR SHALL GIVE WRITTEN NOTICE T THE ARCHITECT STATING THAT THE CONTRACTOR CONSIDERS THE RESPONSE TO BE A CHANGE ORDER. FAILURE TO GIVE SUCH WRITTEN NOTICE SHALL WAIVE THE CONTRACTOR'S RIGHT TO SEEK ADDITIONAL TIME OR COST.

SECTION 01010 - SUMMARY OF WORK

- 1. THE AIA "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" (FORM A201-2017) SHALL BE A PART OF THE CONTRACT DOCUMENTS, ALONG WITH THESE DRAWINGS AND SPECIFICATIONS.
- 2. IN THE PREPARATION OF THESE SPECIFICATIONS AN EFFORT HAS BEEN MADE TO SEGREGATE THE VARIOUS BRANCHES OF THE WORK UNDER HEADINGS, BY TRADES. THIS IS DONE ONLY FOR CONVENIENCE AND SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF FURNISHING EVERY ITEM INDICATED OR SPECIFIED WHETHER PROPERLY SEGREGATED OR NOT.

- 3. THE MISPLACEMENT, ADDITION OR OMISSION OF ANY LETTER, WORD OR PUNCTUATION MARK, OR LACK OF CAPITALIZATION OF A WORD, SHALL IN NO WAY DAMAGE THE TRUE SPIRIT, INTENT, OR MEANING OF THESE SPECIFICATIONS.
- 4. CONTRACTOR SHALL COMPLY WITH, AND REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH, STATE AND CITY CONTRACTOR'S LICENSE LAWS AND BE DULY REGISTERED AND LICENSED THEREUNDER.
- 5. WHERE SPECIFIC INSTRUCTIONS IN THESE SPECIFICATIONS REQUIRE THAT A PARTICULAR PRODUCT AND/OR MATERIAL(S) BE INSTALLED AND/OR APPLIED BY AN APPROVED APPLICATOR OF THE MANUFACTURER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ANY SUBCONTRACTORS USED FOR SUCH WORK BE AN APPROVED APPLICATOR.

SECTION 01015 - PROJECT COORDINATION

- 1. THE GENERAL CONTRACTOR SHALL COORDINATE CONSTRUCTION OPERATIONS INCLUDED IN VARIOUS SECTIONS OF THESE SPECIFICATIONS TO ASSURE EFFICIENT COORDINATION AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. THE GENERAL CONTRACTOR SHALL ALSO COORDINATE CONSTRUCTION OPERATIONS INCLUDED UNDER DIFFERENT SECTIONS THAT DEPEND ON EACH OTHER FOR PROPER INSTALLATION, CLEARANCES, CONNECTIONS, AND OPERATIONS.
- 2. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH THE OWNER'S VENDOR'S WORKS.
- 3. THE VENDOR'S THAT WILL SUPPLY AND INSTALL THESE ITEMS HAS NOT BEEN CHOSEN YET. AS SOON AS THE VENDOR'S ARE DETERMINED THE CONTRACTOR WILL BE NOTIFIED OF ALL CONTACT INFORMATION.
- 4. THE PROJECT SUPERINTENDENT AND THE PROJECT MANAGER SHALL HAVE A MEETING WITH THE FOREMEN OF THE MECHANICAL, ELECTRICAL, FIRE SPRINKLER, AND PLUMBING SUBCONTRACTORS PRIOR TO THE INSTALLATION OF ANY OF THEIR MATERIALS AND EQUIPMENT IN THE BUILDING. THE PURPOSE OF THIS MEETING SHALL BE TO REQUIRE ALL OF THESE SUBCONTRACTORS TO COORDINATE THEIR INSTALLATION LOCATIONS OF THEIR MATERIALS AND EQUIPMENT SO THAT THERE ARE NO CONFLICTS IN THE FIELD. ALL OF THESE SUBCONTRACTORS MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS HIGH AS IS POSSIBLE WITHIN THE STRUCTURAL FRAMING SYSTEMS AND IS NOT TO BE INSTALLED ANY LOWER THAN THE BOTTOM OF THE STRUCTURAL ROOF AND FLOOR SYSTEMS UNLESS APPROVED IN ADVANCE IN WRITING BY THE ARCHITECT. SHOULD THERE END UP BEING A CONFLICT BETWEEN THE SUBCONTRACTORS MATERIALS AND EQUIPMENT, THEN THE CONFLICTING MATERIALS AND EQUIPMENT SHALL BE REMOVED AND PROPERLY REINSTALLED AT NO ADDITIONAL COST TO THE OWNER.

SECTION 01017 - SUPERINTENDENT

- 1. THE CONTRACTOR SHALL EMPLOY A COMPETENT SUPERINTENDENT AND NECESSARY ASSISTANTS WHO SHALL BE IN ATTENDANCE AT THE PROJECT SITE DURING PERFORMANCE OF THE WORK.
- 2. THE SUPERINTENDENT SHALL REPRESENT THE CONTRACTOR, AND COMMUNICATIONS GIVEN TO THE SUPERINTENDENT SHALL BE AS BINDING IF GIVEN TO THE CONTRACTOR. IMPORTANT COMMUNICATIONS SHALL BE CONFIRMED IN WRITING. OTHER COMMUNICATIONS SHALL BE SIMILARLY CONFIRMED ON WRITTEN REQUEST IN EACH CASE.

SECTION 01025 - APPLICATIONS FOR PAYMENT

- 1. SUBMIT APPLICATIONS FOR PAYMENT TO OWNER IN ACCORD WITH THE SCHEDULE ESTABLISHED BY CONDITIONS OF THE CONTRACT AND AGREEMENT BETWEEN OWNER AND CONTRACTOR.
- 2. NO PROJECTIONS IN PAYMENTS WILL BE ALLOWED.
- 3. SUBMIT ITEMIZED APPLICATIONS TYPED ON AIA DOCUMENT G702-92, " APPLICATIONS AND CERTIFICATE FOR PAYMENT" AND CONTINUATION SHEETS G703-92.
- 4. CONTRACTOR SHALL SUBMIT ROUGH DRAFT OF THE APPLICATIONS FOR PAYMENT TO ARCHITECT FOR AN ON-SITE REVIEW FOLLOWING END OF DRAW PERIOD; THEN SUBMIT ONE (1) FINAL COPY AT THE TIMES STIPULATED IN THE AGREEMENT.

SECTION 01040 - CONTRACTOR'S CONSTRUCTION SCHEDULES

- 1. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION SCHEDULE, FOR THE WORK, WITHIN 7 CALENDAR DAYS OF BEING AWARDED THE CONTRACT AND SUBMIT IT FOR THE OWNER'S AND ARCHITECT'S INFORMATION.
- 2. THE SCHEDULE SHALL BE A CRITICAL PATH METHOD SCHEDULE AND SHALL DEMONSTRATE A REALISTIC, EXPEDITIOUS PLAN FOR COMPLETING THE WORK WITHIN THE PARAMETERS OF THE CONTRACT DOCUMENTS.
- 3. THE CONTRACTOR SHALL CONFORM TO THE MOST RECENT SCHEDULE.
- 4. THE SCHEDULE SHALL NOT EXCEED TIME LIMITS CURRENT UNDER THE CONTRACT DOCUMENTS.
- 5. THE SCHEDULE SHALL BE REVISED AT APPROPRIATE INTERVALS AS REQUIRED BY THE CONDITIONS OF THE WORK AND PROJECT, SHALL BE RELATED TO THE ENTIRE PROJECT TO THE EXTENT REQUIRED BY THE CONTRACT DOCUMENTS AND SHALL PROVIDE FOR EXPEDITIOUS AND PRACTICABLE EXECUTION OF THE WORK.

SECTION 01045 - SUBCONTRACTORS

- 1. THE CONTRACTOR SHALL FURNISH TO THE OWNER THROUGH THE ARCHITECT THE NAMES OF PERSONS OR ENTITIES (INCLUDING THOSE WHO ARE TO FURNISH MATERIALS OR EQUIPMENT FABRICATED TO A SPECIAL DESIGN) PROPOSED FOR EACH PRINCIPAL PORTION OF THE WORK.
- 2. THE ARCHITECT WILL PROMPTLY REPLY TO THE CONTRACTOR STATING WHETHER OR NOT THE OWNER OR THE ARCHITECT, AFTER DUE INVESTIGATION, HAS REASONABLE OBJECTIONS TO ANY SUCH PROPOSED PERSON OR ENTITY.

- 3. FAILURE OF THE OWNER OR ARCHITECT TO REPLY PROMPTLY SHALL CONSTITUTE NOTICE OF NO REASONABLE OBJECTION.
- 4. THE CONTRACTOR SHALL NOT CONTRACT WITH A PROPOSED PERSON OR ENTITY TO WHOM THE OWNER OR ARCHITECT HAS MADE REASONABLE AND TIMELY OBJECTION. THE CONTRACTOR SHALL NOT BE REQUIRED TO CONTRACT WITH ANYONE TO WHOM THE CONTRACTOR HAS MADE REASONABLE OBJECTION.

SECTION 01050 - FIELD ENGINEERING

- 1. CONTRACTOR SHALL VERIFY LOCATION OF ALL MONUMENTS AND BENCHMARKS SHOWN ON THE DRAWINGS.
- 2. CONTRACTOR SHALL:
  - 2.1 PROVIDE FIELD PROFESSIONAL ENGINEERING SERVICES AS SPECIFIED OR REQUIRED TO EXECUTE CONTRACTOR CONSTRUCTION METHOD.
  - 2.2 DEVELOP AND MAKE ALL DETAIL SURVEYS AND MEASUREMENT NEEDED FOR CONSTRUCTION, INCLUDING ALL WORKING LINES AND ELEVATION.
  - 2.3 PROVIDE ALL MATERIAL REQUIRED FOR BENCHMARKS, CONTROL POINTS, BATTER BOARDS, GRADE STAKES AND OTHER ITEMS.
  - 2.4 BE SOLELY RESPONSIBLE FOR ALL LOCATIONS, DIMENSIONS AND LEVELS. NO DATA OTHER THAN WRITTEN ORDERS OF THE ARCHITECT SHALL JUSTIFY DEPARTURE FROM THE DIMENSIONS AND LEVELS REQUIRED BY THE DRAWINGS.

SECTION 01340 - SHOP DRAWINGS, PRODUCT DATA AND SAMPLES

- 1. SHOP DRAWINGS ARE DRAWINGS, DIAGRAMS, SCHEDULES AND OTHER DATA SPECIALLY PREPARED FOR THE WORK BY THE CONTRACTOR OR A SUBCONTRACTOR, SUB-SUBCONTRACTOR, MANUFACTURER, SUPPLIER OR DISTRIBUTOR TO ILLUSTRATE SOME PORTION OF THE WORK.
- 2. PRODUCT DATA ARE ILLUSTRATIONS, STANDARD SCHEDULES, PERFORMANCE CHARTS, INSTRUCTIONS, BROCHURES, DIAGRAMS AND OTHER INFORMATION FURNISHED BY THE CONTRACTOR TO ILLUSTRATE MATERIALS OR EQUIPMENT FOR SOME PORTION OF THE WORK.
- 3. SAMPLES ARE PHYSICAL EXAMPLES, WHICH ILLUSTRATE MATERIALS, EQUIPMENT OR WORKMANSHIP AND ESTABLISH STANDARDS BY WHICH THE WORK WILL BE JUDGED.
- 4. THE CONTRACTOR SHALL PREPARE AND KEEP CURRENT, FOR THE ARCHITECT'S APPROVAL, A SCHEDULE OF SUBMITTALS WHICH IS COORDINATED WITH THE CONTRACTOR'S CONSTRUCTION SCHEDULE AND ALLOWS THE ARCHITECT REASONABLE TIME TO REVIEW SUBMITTALS. THIS SCHEDULE OF SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT WITH THE CONTRACTOR'S CONSTRUCTION SCHEDULE. THE CONTRACTOR SHALL CONFORM TO THE MOST RECENT SCHEDULE.
- 5. THE PURPOSE FOR THESE SUBMITTALS IS TO DEMONSTRATE FOR THOSE PORTIONS OF THE WORK FOR WHICH SUBMITTALS ARE REQUIRED THE WAY THE CONTRACTOR PROPOSES TO CONFORM TO THE INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS.
- 6. THE CONTRACTOR SHALL REVIEW, APPROVE AND SUBMIT TO THE ARCHITECT SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS REQUIRED BY THE CONTRACT DOCUMENTS WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK OR IN THE ACTIVITIES OF THE OWNER OR OF SEPARATE CONTRACTORS.
- 7. SUBMITTALS MADE BY THE CONTRACTOR, WHICH ARE NOT REQUIRED BY THE CONTRACT DOCUMENTS, MAY BE RETURNED WITHOUT ACTION.
- 8. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK REQUIRING SUBMITTAL AND REVIEW OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS UNTIL THE ARCHITECT HAS APPROVED THE RESPECTIVE SUBMITTAL. SUCH WORK SHALL BE IN ACCORDANCE WITH APPROVED SUBMITTALS.
- 9. BY APPROVING AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS, THE CONTRACTOR REPRESENTS THAT THE CONTRACTOR HAS DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA RELATED THERETO OR WILL DO SO, AND HAS CHECKED AND COORDINATED THE INFORMATION CONTAINED WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND OF THE CONTRACT DOCUMENTS.
- 10. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR DEVIATIONS FROM REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMITTAL AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS BY THE ARCHITECT'S APPROVAL THEREOF.
- 11. THE CONTRACTOR SHALL DIRECT SPECIFIC ATTENTION, IN WRITING OR ON RESUBMITTED SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS, TO REVISIONS OTHER THAN THOSE REQUESTED BY THE ARCHITECT ON PREVIOUS SUBMITTALS.
- 12. THE CONTRACTOR SHALL CHECK, APPROVE, AND SUBMIT WITH SUCH PROMPTNESS AS TO CAUSE NO DELAY IN HIS WORK, ONE (1) ELECTRONIC COPY AND ONE (1) PAPER COPY OF ALL SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS AS CALLED FOR IN THE VARIOUS SECTIONS, DETAILS, AND PARTS TO BE USE IN THE WORK.

SECTION 01350 - SUBSTITUTIONS

- 1. THE CONTRACTOR SHALL BASE HIS PROPOSAL ON THE EXACT BRANDS, SYSTEMS, METHODS, AND MATERIALS SHOWN, IF THE CONTRACTOR DESIRES TO MAKE SUBSTITUTIONS, HE SHALL LIST THEM WITH HIS BID AND IN HIS CONTRACT. THE LISTING SHALL BE IN SUFFICIENT DETAIL TO AFFORD THE OWNER MEANS OF COMPARISON AND MUST INCLUDE THE MONETARY DIFFERENCE IN CONTRACT PRICE IF THE SUBSTITUTION IS ACCEPTED. SUBSTITUTIONS AFTER SIGNING THE CONTRACT SHALL BE BY CHANGE ORDER ONLY.

SECTION 01360 - RECORD DRAWINGS

- 1. THE WORK OF THE FOLLOWING TECHNICAL SECTIONS SHALL BE MARKED ON A CLEAN SET OF PLANS, SHOWING THE EXACT LOCATIONS OF THE VARIOUS PARTS OF THE WORK IF DIFFERENT FROM DRAWINGS: MECHANICAL, PLUMBING, AND ELECTRICAL.

SECTION 014000 - QUALITY CONTROL

- 1. ALL COSTS INCURRED FOR TESTING LABORATORY SERVICES SHALL BE PAID BY THE CONTRACTOR.
- 2. TESTING LABORATORY SHALL REPORT THE RESULTS OF ALL TESTS, IN WRITING, VIA EMAIL, SIMULTANEOUSLY TO THE FOLLOWING: ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR.

SECTION 01410 - ERRORS AND OMISSIONS

- 1. IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF SUCH OMISSIONS OR ERRORS PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION.
- 2. IN THE EVENT OF THE CONTRACTOR'S FAILURE TO GIVE SUCH NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYING IT.
- 3. THE CONTRACTOR SHALL HAVE ALL ITEMS OR DETAILS CLARIFIED WITH ARCHITECT PRIOR TO SUBMITTING A BID; OTHERWISE ARCHITECTS INTERPRETATION SHALL BE FINAL.
- 4. IF THERE IS A CONFLICT BETWEEN THESE SPECIFICATIONS AND THE DRAWINGS THEN THE ARCHITECT WILL MAKE A WRITTEN INTERPRETATION WHICH SHALL BE FINAL AND BINDING UPON THE CONTRACTOR. THE ARCHITECT'S INTERPRETATION SHALL BE REASONABLE AND CONSISTENT WITH THE INTENT EXPRESSED IN THE CONTRACT DOCUMENTS.

SECTION 015000 - CONST. FACILITIES & TEMPORARY UTILITIES

- 1. THE CONTRACTOR SHALL MAINTAIN AT THE SITE FOR THE OWNER, ONE RECORD COPY OF THE DRAWINGS, SPECIFICATIONS, ADDENDA, CHANGE ORDERS, RFIS, PROPOSAL REQUESTS, AND OTHER MODIFICATIONS, IN GOOD ORDER AND MARKED CURRENTLY TO RECORD CHANGES AND SELECTIONS MADE DURING CONSTRUCTION, AND IN ADDITION APPROVED SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR REQUIRED SUBMITTALS. THESE SHALL BE AVAILABLE TO THE ARCHITECT AND SHALL BE DELIVERED TO THE ARCHITECT FOR SUBMITTAL TO THE OWNER UPON COMPLETION OF THE WORK.
- 2. THE CONTRACTOR SHALL PROVIDE THE OWNER AND ARCHITECT ACCESS TO THE WORK IN PREPARATION AND PROGRESS WHEREVER LOCATED.
- 3. OWNER SHALL PROVIDE TEMPORARY ADEQUATE LIGHT AND POWER SUPPLY FOR CONSTRUCTION.
- 4. OWNER SHALL PROVIDE TEMPORARY ADEQUATE WATER SUPPLY FOR CONSTRUCTION.
- 5. PROVIDE A CELLULAR JOB TELEPHONE FOR THE DURATION OF THE PROJECT.
- 6. PROVIDE PROPER SANITARY AND ADEQUATE TOILET FACILITIES FOR THE USE OF ALL WORKMEN EMPLOYED ON THE PROJECT, LOCATED WHERE DIRECTED, AND ENFORCE THEIR USE BY ALL PERSONNEL ON THE PROJECT. ENCLOSE AND WEATHERPROOF TOILETS AND KEEP IN A SANITARY CONDITION AT ALL TIMES. ALSO PROVIDE A TRASH BIN.
- 7. PROVIDE ADEQUATE FIRE EXTINGUISHERS ON THE PREMISES DURING THE COURSE OF CONSTRUCTION, OF THE TYPE AND SIZES RECOMMENDED BY THE NFPA TO CONTROL FIRES RESULTING FROM THE PARTICULAR WORK BEING PERFORMED.
- 8. PROTECT ALL ELEMENTS OF CONSTRUCTION FROM ANY DANGER OF DAMAGE FROM WIND, RAIN, DUST, FROST, FREEZING TEMPERATURES, OR OTHER INFILTRATION OF WEATHER.
- 9. EXERCISE ALL POSSIBLE CARE TO CONTROL EXCESSIVE NOISE AND DUST DURING THE CONSTRUCTION TO KEEP THESE PROBLEMS TO A MINIMUM. TRAFFIC OR CONSTRUCTION AREAS SHALL BE SPRINKLED WITH WATER OR CHEMICALS REQUIRED AND IN ACCORDANCE WITH APPLICABLE COUNTY REQUIREMENTS. CONTRACTOR SHALL SECURE APPROPRIATE DUST PERMITS PRIOR TO SITE WORK BEGINNING.
- 10. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF CONSTRUCTION, CONSTRUCTION MATERIALS AND EQUIPMENT ON THE SITE.
- 11. NO SIGNS SHALL BE PERMITTED ON PROJECT WITHOUT EXPRESS APPROVAL OF OWNER, EXCEPT FOR SAFETY SIGNS.

REVISIONS	BY

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ARCHITECTURE & PLANNING

DRAWING: Specifications

PROJECT:

ERAU Building 75 Office Remodel  
3700 Willow Creek Road  
Prescott, AZ 86301

APN:

106-03-004

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE April 25th, 2019
JOB NO. 731
SHEET

A4.0



Specifications Continued

SECTION 016000 - MATERIAL AND EQUIPMENT

- 1. DELIVER ALL MANUFACTURED MATERIALS IN THE ORIGINAL PACKAGES, CONTAINERS OR BUNDLES (WITH THE SEALS UNBROKEN) BEARING THE NAME OR IDENTIFICATION MARK OF THE MANUFACTURER.
- 2. STORE ALL MATERIALS IN SUCH MANNER AS NECESSARY TO PROPERLY PROTECT IT FROM DAMAGE. MATERIALS OR EQUIPMENT DAMAGED BY HANDLING, WEATHER, DIRT OR FROM ANY OTHER CAUSE WILL NOT BE ACCEPTABLE.
- 3. STORE MATERIAL SO AS TO CAUSE NO OBSTRUCTIONS, STORED OFF SIDEWALKS, ROADWAYS AND UNDERGROUND SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL MATERIAL AND EQUIPMENT FURNISHED UNDER THE CONTRACT.
- 4. WHERE NOT MORE SPECIFICALLY DESCRIBED IN ANY OF THE VARIOUS SECTIONS OF THESE SPECIFICATIONS, WORKMANSHIP SHALL CONFORM TO ALL OF THE METHODS AND OPERATIONS OF BEST STANDARDS AND ACCEPTED PRACTICES OF THE TRADE OR TRADES INVOLVED, AND SHALL INCLUDE ALL ITEMS OF FABRICATION, CONSTRUCTION OR INSTALLATION REGULARLY FURNISHED OR REQUIRED FOR COMPLETION.
- 5. ALL WORK SHALL BE EXECUTED BY MECHANICS SKILLED IN THEIR RESPECTIVE LINES OF WORK.
- 6. WHEN A SPECIFIC MANUFACTURER, TRADE NAME OR MATERIAL IS SPECIFIED, OR INDICATED, IT IS TO ESTABLISH A STANDARD OF QUALITY AND SHALL NOT BE CONSTRUED AS LIMITING COMPETITION. IF THE CONTRACTOR DESIRES TO USE A MANUFACTURER, TRADE NAME OR MATERIAL OTHER THAN THAT SPECIFIED, HE SHALL REQUEST APPROVAL OF SUCH SUBSTITUTION, IN WRITING, TO THE ARCHITECT. ALL SUCH REQUESTS SHALL BE SUBMITTED PRIOR TO ORDERING MATERIALS.

SECTION 017000 - PROJECT CLOSE-OUT

- 1. CONTRACTOR SHALL PROVIDE RECORD DRAWINGS WHICH SHALL CLEARLY SHOW ALL DIFFERENCES BETWEEN THE CONTRACT WORK AS DRAWN AND AS INSTALLED FOR ALL WORK, AS WELL AS WORK ADDED TO THE CONTRACT WHICH IS NOT SHOWN ON THE CONTRACT DRAWINGS.
- 2. CONTRACTOR SHALL SUBMIT A FULLY EXECUTED "CERTIFICATE OF SUBSTANTIAL COMPLETION", AIA DOCUMENT G704 (LATEST EDITION) FOR OWNER'S AND ARCHITECT'S SIGNATURES.
- 3. UPON COMPLETION OF THE INSTALLATION OF ALL WORK, AND PRIOR TO FINAL INSPECTION, FURNISH ELECTRONIC COPIES OF OWNER'S CLOSE-OUT MANUAL. THE OWNER'S MANUAL SHALL INCLUDE: 1) ALL SUBCONTRACTOR'S NAMES, ADDRESS, PHONE NUMBER AND CONTACT, 2) GENERAL SUBCONTRACTOR'S ONE YEAR WARRANTY, 3) ALL SUBCONTRACTOR'S WARRANTIES, 4) COPY OF THE FINAL CERTIFICATE OF OCCUPANCY, 5) MANUFACTURER'S CUT SHEETS AND PARTS LISTS OF ALL LIGHT FIXTURES, ELECTRICAL GEAR, MECHANICAL AND PLUMBING EQUIPMENT, 6) MECHANICAL CONTRACTOR'S TEST AND BALANCE REPORT, PROVIDE A TABLE OF CONTENTS AND INDEX TABS FOR EACH HEADING.
- 4. INSTRUCT OWNER'S PERSONNEL IN OPERATION, ADJUSTMENT, AND MAINTENANCE OF EQUIPMENT AND SYSTEMS.
- 5. SUBMIT ALL REQUIRED GUARANTEES TO THE OWNER. PROVIDE WRITTEN GUARANTEE IN ACCORDANCE WITH SUBPARAGRAPH 13.2.2 OF THE GENERAL CONDITIONS. IN ADDITION, PROVIDE ALL WRITTEN GUARANTEES OR CERTIFICATES REQUIRED AS SPECIFIED IN THESE SPECIFICATIONS.
- 6. NEITHER FINAL PAYMENT NOR ANY REMAINING RETAINED PERCENTAGE WILL BE PAID TO CONTRACTOR UNTIL ALL OF THE ABOVE PROVISIONS ARE MET AND ALL REQUIREMENTS AS OUTLINED IN THE "GENERAL CONDITION OF THE CONTRACT FOR CONSTRUCTION" AIA DOCUMENT A201 (LATEST EDITION), PARAGRAPH 9.10.2

SECTION 01710 - CLEANING

- 1. SAFETY AND INSURANCE STANDARDS: MAINTAIN PROJECT IN ACCORDANCE WITH THE FOLLOWING SAFETY AND INSURANCE STANDARDS:  
STATE INDUSTRIAL COMMISSION (OF ARIZONA) OSHA
- 2. FIRE PROTECTION STORE VOLATILE WASTE IN COVERED METAL CONTAINERS, AND REMOVE FROM PREMISES DAILY.
- 3. POLLUTION CONTROL: CONDUCT CLEAN-UP AND DISPOSAL OPERATIONS TO COMPLY WITH LOCAL ORDINANCES AND ANTI-POLLUTION LAWS. BURNING OR BURYING OF RUBBISH AND WASTE MATERIAL ON THE PROJECT SITE IS NOT PERMITTED DISPOSAL OF VOLATILE FLUID WASTE (SUCH AS MINERAL SPIRITS, OIL, OR PAINT THINNER) IN STORM OR SANITARY SEWER SYSTEMS OR INTO STREAMS OR WATERWAYS IS NOT PERMITTED.
- 4. USE ONLY CLEANING MATERIALS RECOMMENDED BY MANUFACTURER OF SURFACE TO BE CLEANED.
- 5. THE CONTRACTOR SHALL KEEP THE PREMISES AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY OPERATIONS UNDER THE CONTRACT. AT COMPLETION OF THE WORK THE CONTRACTOR SHALL REMOVE FROM AND ABOUT THE PROJECT WASTE MATERIALS, RUBBISH, THE CONTRACTOR'S TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS.
- 6. IF THE CONTRACTOR FAILS TO CLEAN UP AS PROVIDED IN THE CONTRACT DOCUMENTS, THE OWNER MAY DO SO AND THE COST THEREOF SHALL BE CHARGED TO THE CONTRACTOR.
- 7. PROVIDE FOR THE DISPOSAL OF ALL WASTE PRODUCTS, TRASH, DEBRIS, ETC., AND MAKE NECESSARY ARRANGEMENT FOR LEGAL DISPOSAL OF IT OFF THE SITE.

- 8. MAKE BUILDINGS READY FOR OCCUPANCY IN ALL RESPECTS. LAY HEAVY BUILDING PAPER IN MAIN CIRCULATION AREAS TO PROTECT THE FLOORS UNTIL FINAL INSPECTION AND ACCEPTANCE.
- 9. ALL EXISTING IMPROVEMENTS, INSIDE OR OUTSIDE THE PROPERTY WHICH ARE DISTURBED, DAMAGED OR DESTROYED BY THE WORK UNDER THE CONTRACT SHALL BE RESTORED TO THE CONDITION IN WHICH THEY ORIGINALLY WERE, OR TO THE SATISFACTION OF THE ARCHITECT.
- 10. CONTRACTORS AND THEIR EMPLOYEES WILL NOT BE ALLOWED TO PARK ON CONCRETE FLOORS OR SLABS. IF ANY CONTRACTOR OR HIS EMPLOYEE DOES SO, THEY SHALL BE RESPONSIBLE FOR THE COST OF CLEANING THE SLAB TO THE FULL SATISFACTION OF THE OWNER AND AT NO COST TO THE OWNER.

DIVISION 2 - SITEWORK

SECTION 02075 DUST (PARTICULATE MATTER) CONTROL

- 1. THE GENERAL CONTRACTOR AND ALL OF THEIR SUBCONTRACTORS SHALL MEET ALL LOCAL, COUNTY, STATE, AND FEDERAL REGULATIONS AND SHALL BE SOLELY RESPONSIBLE FOR DUST CONTROL ON THE SITE FOR THE ENTIRE DURATION OF CONSTRUCTION AND SHALL STRICTLY CONFORM TO THESE REGULATIONS.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

SECTION 07210 - BUILDING INSULATION

- 1. INSULATION MATERIALS SHALL BE FLEXIBLE FIBERGLASS BATTS OR BLANKETS, WITH OR WITHOUT FACINGS, AS CALLED OUT ON PLANS. ALL COMPOSITE MATERIALS SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPED RATING OF 50 OR LESS AS TESTED IN ACCORDANCE WITH ASTM E84 U.L. 723
- 2. PROVIDE INSULATION AS FOLLOWS:
  - 2.1 REFER TO WALL TYPES SCHEDULE AND BUILDING SECTIONS / DETAILS.
- 3. CUT AND FIT INSULATION MATERIALS AROUND PIPES, CONDUITS, OUTLET BOXES, ETC., AS NECESSARY TO MAINTAIN THE INTEGRITY OF THE INSULATION. WHERE PIPES ARE INSTALLED IN SPACES TO RECEIVE INSULATION, PLACE INSULATION BETWEEN EXTERIOR WALL AND THE PIPE, COMPRESSING INSULATION AS NECESSARY.
- 4. AT WALL AND CEILING AREAS INSTALL INSULATION BETWEEN FRAMING MEMBERS WITH FLANGES CONTINUOUSLY TIGHT AGAINST FRAMING MEMBERS AND ENDS TIGHTLY BUTTED.

SECTION 07900 - CAULKING AND SELANTS

- 1. ALL NEW EXTERIOR AND INTERIOR SEALANT SHALL BE DOW CORNING 795, UNLESS NOTED OTHERWISE.
- 2. PRIMER: WHERE REQUIRED, SHALL BE USED AS PER DOW CORNING'S WRITTEN INSTRUCTIONS. THE PRIMER SHALL HAVE BEEN TESTED FOR NON-STAINING CHARACTERISTICS AND DURABILITY ON SAMPLES OF ACTUAL SURFACES TO BE SEALED.
- 3. CONTRACTOR SHALL USE CLOSED CELL POLYETHYLENE BACKER RODS AS A JOINT BACKING TO CONTROL DEPTH OF SEALANT BEAD. WHERE DEPTH OF JOINT WILL PREVENT USE OF JOINT BACKING, AN ADHESIVE BACKED POLYETHYLENE TAPE (BOND BREAKER TAPE) SHALL BE INSTALLED TO PREVENT THREE SIDED ADHESION. JOINT BACKING SHALL BE DRY AT THE TIME OF SEALANT APPLICATION.
- 4. SURFACES MUST BE SOUND, CLEAN AND DRY. ALL RELEASE AGENTS, EXISTING WATERPROOFING, DUST, LOOSE MORTAR, LAITANCE, PAINTS, OR OTHER FINISHES MUST BE REMOVED. THIS SHALL BE ACCOMPLISHED WITH A THOROUGH WIRE BRUSHING, GRINDING, SANDBLASTING OR SOLVENT WASHING, DEPENDING ON THE CONTAMINATION.
- 5. PROVIDE CAULKING AT THE FOLLOWING LOCATIONS. THIS SCHEDULE IS NOT TO BE CONSTRUED TO BE COMPLETE. PROVIDE CAULKING AT OTHER AREAS AS INDICATED.
  - 5.1 PERIMETER OF ALL DOOR AND WINDOW FRAMES, INTERIOR AND EXTERIOR. COLOR TO MATCH DOOR FRAME COLOR.
  - 5.2 PERIMETER OF ALL ALUMINUM SECTIONS, INTERIOR AND EXTERIOR. COLOR TO MATCH ALUMINUM FRAME COLOR.
  - 5.3 AT BASE OF WATER CLOSETS AT FLOOR, COLOR TO BE WHITE TO MATCH WATER CLOSET.
  - 5.4 AT ALL WALL HUNG PLUMBING FIXTURES, COLOR TO BE WHITE TO MATCH FIXTURE.
  - 5.5 ALL NEW JOINTS AT ABUTTING DISSIMILAR BUILDING MATERIALS.
  - 5.6 JOINTS IN EXPOSED MASONRY SURFACES, INTERIOR AND EXTERIOR.
  - 5.7 TOP EDGE OF ALL FRY-REGLET COUNTERFLASHING ASSEMBLIES.
  - 5.8 CONTROL, COLD, EXPANSION AND SAW JOINTS IN CONCRETE SURFACES, INTERIOR AND EXTERIOR. INSTALL SEALANT AT ALL INTERIOR CONCRETE FLATWORK JOINTS WHICH DO NOT RECEIVE A FLOOR COVERING.

DIVISION 8 - DOORS, WINDOWS, GLASS

SECTION 08110 - HOLLOW METAL FRAMES

- 1. FRAMES TO MEET SPECIFIED REQUIREMENTS OF SDI AND/OR NAAMM FOR UNIT WELDED FRAMES.
- 2. CONTRACTOR SHALL ORDER ALL FRAMES FOR MASONRY WALLS IN A TIMELY MANNER SO THAT FRAME CAN BE INSTALLED WHILE MASONRY WALLS ARE BEING BUILT. FRAMES INSTALLED LATER WITH EXPANSION BOLTS WILL NOT BE ALLOWED.
- 3. ALL EXTERIOR FRAMES, WHERE OCCUR, SHALL BE 14 GAUGE GALVANIZED STEEL WITH CORNERS MITERED AND WELDED.
- 4. ALL INTERIOR FRAMES SHALL BE 14 GAUGE SHEET STEEL WITH CORNERS MITERED AND WELDED.
- 5. ALL HOLLOW METAL FRAMES IN MASONRY WALLS ARE TO BE SOLIDLY GROUTED.

- 6. PREPARE FRAMES TO RECEIVE MORTISED TYPE HARDWARE AND PROVIDE HARDWARE REINFORCING AS REQUIRED BY SDI.
- 7. INSTALL METAL FRAMES AT LOCATION INDICATED, SET SQUARE AND PLUMB WITH THE BUILDING LINES, ANCHORING SECURELY TO CONSTRUCTION.
- 8. ANCHOR EACH JAMB LEG WITH SILL CLIP WITH EXPANSION BOLT OR 'RAMSET' FASTENERS.
- 9. ANCHOR EACH JAMB WITH 3 ANCHORS AT MASONRY AND 4 ANCHORS AT GYPSUM BOARD.

SECTION 08200 - WOOD DOORS

- 1. PROVIDE WOOD DOORS AND RELATED ITEMS IN ACCORDANCE WITH AIA 'QUALITY STANDARDS', SECTION 1300 AND COMMERCIAL STANDARDS CS-236. REFER TO MATERIALS SCHEDULE AND DETAILS.
- 2. FURNISH MANUFACTURER'S STANDARD 'LIFE OF THE INSTALLATION' GUARANTEE FOR ALL INTERIOR DOORS.
- 3. SOLID CORE WOOD DOORS: FLUSH CHERRY VENEER, CUSTOM GRADE, FOR AN OPAQUE FINISH. CORE TO BE TYPE PC-7, GRADE 1-L-1 PARTICLE BOARD.
- 4. STORE DOORS FLAT ON A LEVEL SURFACE IN A CLEAN, DRY, WELL-VENTILATED AREA, PROTECTED FROM SUNLIGHT. DOORS SHALL BE CONDITIONED TO THE AVERAGE PREVAILING HUMIDITY OF THE JOBSITE BEFORE INSTALLATION. HANDLE DOORS WITH CLEAN GLOVES. DO NOT DRAG DOORS ACROSS ONE ANOTHER OR ACROSS OTHER SURFACES.
- 5. INSTALLATION:
  - 5.1 INSTALL DOORS IN FRAMES WHERE INDICATED. HINGE DOORS WITH CLEARANCE OF NOT MORE THAN 3/32" AT EACH SIDE, AND HEAD; CLEARANCE AT BOTTOM 1/2" OR AS REQUIRED FOR CARPETING OR THRESHOLD. MORTISE, DRILL OR OTHERWISE WORK DOORS FOR FINISH HARDWARE AS SCHEDULED, BEVELING LOCK EDGE TO ALLOW FOR PROPER CLEARANCE IN OPENING AND CLOSING DOORS. REMOVE DOORS AFTER FITTING FOR FINISHING. RE-HANG AFTER FINISHING.
  - 5.2 INSTALL FINISH HARDWARE IN A NEAT AND WORKMANLIKE MANNER IN ACCORDANCE WITH THE HARDWARE SCHEDULE, USING ONLY MECHANICS SKILLED IN THIS TYPE OF WORK. DO ALL MORTISING FOR HARDWARE BEFORE PAINTING. DO NOT INSTALL HARDWARE UNTIL FINISHING OF DOOR IS COMPLETED. KEEP ALL HARDWARE FREE FROM SCRATCHES, DENTS OR OTHER DEFAACEMENTS.
  - 5.3 THE FINISH HARDWARE SHALL BE ACCURATELY, FITTED AND INSTALLED ON PROPERLY PREPARED SURFACES IN CONFORMITY WITH THE MANUFACTURER'S INSTRUCTIONS AND TEMPLATES. UPON COMPLETION, THE FINISH HARDWARE SHALL BE IN PERFECT CONDITION AND IN PERFECT WORKING ORDER.

SECTION 08700 - FINISH HARDWARE

- 1. THE MAXIMUM DOOR-OPENING FORCE (IN POUNDS-FORCE) FOR PUSHING OR PULLING OPEN INTERIOR HINGED DOOR SHALL BE 5 LBF.
- 2. ALL HARDWARE SHALL MEET HANDICAPPED ACCESSIBILITY REQUIREMENTS OF AMERICANS WITH DISABILITIES ACT.
- 3. LOCKSETS AND LATCHSETS SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISH FLOOR.
- 4. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- 5. STRIKES SHALL BE EXTENDED LIPS WHERE REQUIRED TO PROTECT TRIM FROM BEING MARRED BY LATCH BOLT. WROUGHT BOXES SHALL BE FURNISHED WITH ALL STRIKES.
- 6. KEYS AND KEYING:
  - 6.1 ALL CYLINDERS FOR THIS PROJECT TO BE SET TO NEW MASTER KEY.
  - 6.2 ALL CYLINDERS TO BE CONSTRUCTION MASTER KEYED.
  - 6.3 MASTER KEY SETS AND INDIVIDUAL KEYING OF LOCKS WILL BE DETERMINED BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING WITH THE OWNER'S REPRESENTATIVE TO DETERMINE THE EXACT KEYING THAT WILL BE REQUIRED.
  - 6.4 FURNISH 6 EACH CONSTRUCTION MASTER KEYS TO BE DELIVERED WITH LOCKSETS TO CONTRACTOR. FURNISH 3 EACH MASTER KEY SETS. FURNISH 3 EACH CHANGE KEYS FOR EACH CYLINDER AND LOCKSET.
  - 6.5 ALL GRAND MASTER, MASTER, AND CHANGE KEYS SHALL BE PROPERLY TAGGED FOR EASY IDENTIFICATION AND DELIVERED TO AN AUTHORIZED RECIPIENT AS DIRECTED BY THE ARCHITECT.
- 7. PROVIDE A WRITTEN GUARANTEE FOR ALL HARDWARE FOR A PERIOD OF 2 YEARS FROM DATE OF CERTIFICATE OF OCCUPANCY. DEFECTS IN MATERIALS AND/OR WORKMANSHIP OCCURRING DURING THE GUARANTEE PERIOD SHALL BE CORRECTED AT NO EXPENSE TO THE OWNER.

SECTION 08800 - GLASS AND GLAZING

- 1. GLASS AND GLAZING SHALL CONFORM TO CHAPTER 24 OF THE 2012 IBC, AND TO LOCAL CODE REQUIREMENTS. IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- 2. U-FACTOR OF GLASS SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 100 BY AN ACCREDITED, INDEPENDENT LABORATORY, AND LABELED AND CERTIFIED BY THE MANUFACTURER. MANUFACTURER SHALL PROVIDE THIRD PARTY LABORATORY CERTIFICATION TO ARCHITECT, PRIOR TO MANUFACTURING GLASS UNITS.
- 3. THE SOLAR HEAT GAIN COEFFICIENT (SHGC) AND VISIBLE TRANSMITTANCE (VT) OF GLASS SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 200 BY AN ACCREDITED, INDEPENDENT LABORATORY, AND LABELED AND CERTIFIED BY THE MANUFACTURER. MANUFACTURER SHALL PROVIDE THIRD PARTY LABORATORY CERTIFICATION TO ARCHITECT, PRIOR TO MANUFACTURING GLASS UNITS.

- 4. WATERTIGHT AND AIRTIGHT INSTALLATION OF EACH PIECE OF GLASS IS REQUIRED. EACH INSTALLATION MUST WITHSTAND NORMAL TEMPERATURE CHANGES, WIND LOADING AND IMPACT LOADING.
- 5. THE MAXIMUM PROBABLE BREAKAGE LEVEL SHALL BE 8 LITES PER THOUSAND FOR A 1-MINUTE UNIFORM WIND LOAD DURATION.
- 6. INTERIOR REGULAR PLATE GLASS: CLEAR 1/4" THICK COMPLYING WITH FS-DD-G-451, TYPE 1, CLASS 1, QUALITY Q-3, PLATE OR FLOAT.
- 7. INTERIOR TEMPERED GLASS: CLEAR 1/4" THICK FULLY TEMPERED PLATE GLASS, PERMANENTLY ETCH EACH LIGHT WITH MANUFACTURER'S NAME AND HIS COMPLIANCE WITH ANSI Z97.1.
- 8. EXTERIOR CLEAR LOW-E INSULATING GLASS UNITS: AT ALL (UNLESS NOTED OTHERWISE) WINDOW TYPES AND ALL ALUMINUM/GLASS DOORS PROVIDE PPG INSULATED UNITS, COMPRISED OF AN OUTER LAYER OF 6MM STARPHIRE (TEMPERED WHERE REQUIRED) SOLARBAN 70XL (2) AND AN INNER LAYER OF 6MM (TEMPERED WHERE REQUIRED) CLEAR GLASS, SEPARATED BYA 1/2" AIR SPACE. INSULATING GLASS UNITS SHALL HAVE A SHADING COEFFICIENT OF 0.32 A SHGC OF 0.27 AND A U-VALUE OF 0.26. LABEL EACH UNIT TO SHOW WHICH FACE IS TO BE EXPOSED TO EXTERIOR, UNLESS NOTED OTHERWISE. PLACE LABEL ON INSIDE FACE. SUBMIT 2 SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING GLASS UNITS.
- 9. INTERIOR GLAZING COMPOUND TO BE POLYMERIZED BUTYL RUBBER AND INERT FILLERS (PIGMENTS), SOLVENT BASED WITH MINIMUM 75% SOLIDS, NON-SAG CONSISTENCY, TACK-FREE TIME OF 24 HOURS OR LESS, PAINTABLE NON-STAINING.
- 10. SETTING BLOCKS TO BE NEOPRENE, EPDM, OR OTHER RESILIENT BLOCKS OF 85 SHORE A DUROMETER HARDNESS, MINIMUM LENGTH 4"
- 11. EXTERIOR GLAZING COMPOUND TO CONFORM TO ASTM C-920, TYPE S, GRADE NS, CLASS 25, USE G.
- 12. GLAZING INSTALLATION IS TO COMPLY WITH THE GANA 'GLAZING MANUAL', 50th ANNIVERSARY EDITION.

REVISIONS	BY

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DRAWING: Specifications

PROJECT: ERAU Building 75 Office Remodel  
3700 Willow Creek Road  
Prescott, AZ 86301

APN: 106-03-004

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE April 25th, 2019
JOB NO. 731
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A4.1



## Specifications Continued

### DIVISION 9 - FINISHES

#### SECTION 09110 - COLD-FORMED LIGHT GAUGE FRAMING

- THE INSTALLATION AND CONSTRUCTION OF COLD-FORMED STRUCTURAL AND NON-STRUCTURAL STEEL FRAMING SHALL CONFORM TO THE 'STANDARD FOR COLD-FORMED STEEL FRAMING - GENERAL PROVISIONS' AS PUBLISHED BY THE AMERICAN IRON AND STEEL INSTITUTE THROUGH THE STEEL FRAMING ALLIANCE.
- ALL MEMBERS SHALL BE MANUFACTURED BY THE CURRENT MEMBERS OF THE STEEL STUD MANUFACTURER'S ASSOCIATION.
- ALL MEMBERS SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN IRON AND STEEL INSTITUTE, AISI, 'SPECIFICATION FOR THE DESIGN OF COLD-FORMED STRUCTURAL MEMBERS'.
- METAL STUDS SHALL BE ROLL FORMED CHANNEL TYPE STUDS, PER ICC EVALUATION SERVICE REPORT NO. ER-4943P.
- INTERIOR WALLS SHALL BE CONSTRUCTED OF STEEL STUDS AS FOLLOWS:

MAXIMUM WALL HEIGHT	PRODUCT NO.	STUD SPACING
12'-5"	362S125-18	16" O.C. (U.N.O.)
15'-6"	362S125-33	16" O.C. (U.N.O.)
16'-11"	362S125-43	16" O.C. (U.N.O.)
23'-0"	600S125-30	16" O.C. (U.N.O.)

YIELD STRENGTH IS TO BE 33 KSI. CONTRACTOR SHALL USE MINIMUM 362S125-33 FOR WALLS THAT RECEIVE CERAMIC TILE. PROVIDE METAL FLOOR AND CEILING RUNNERS DESIGNED TO ACCOMMODATE THE SPECIFIED STUD GAUGES AND SIZES.

- ALL INTERIOR WALLS SHALL GO FULL HEIGHT AND ATTACH TO THE ROOF STRUCTURE ABOVE, UNLESS THEY HAVE A SUSPENDED CEILING ON BOTH SIDES OF WALL.
- PROVIDE AND INSTALL A SLIP-TRACK AT TOP OF ALL INTERIOR FULL HEIGHT WALLS. TO BE 20 GAUGE AND TO MATCH THE SIZE OF THE WALL STUDS. TO ALLOW FOR 1" VERTICAL MOVEMENT. PROVIDE WAFER-HEAD SCREWS TO POSITIVELY ATTACH THE STEEL STUDS THROUGH THE VERTICAL SLOTS IN THE SLIP-TRACK. VERTICAL SLOTS TO BE 1/4" WIDE x 1-1/2" LONG AND SPACED EVERY 1" O.C.
- ATTACH BOTTOM STEEL TRACKS TO CONCRETE FLOORS WITH RAMSET/RED HEAD POWDER-ACTUATED POWER POINT FASTENERS @ 32" O.C. FASTENERS TO HAVE A SHANK DIAMETER OF 0.150", HEAD DIAMETER OF .0300" AND LENGTH OF 0.75". INSTALL FASTENERS PER I.C.B.O. EVALUATION REPORT NO. ER-1639 AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

#### SECTION 09250 - GYPSUM WALL BOARD

- ASTM C-840 AND C-754, AND GA-216, INsofar AS ANY PORTIONS ARE APPLICABLE, ARE HEREBY MADE A PART OF THIS SPECIFICATION AS THOUGH REPEATED HEREIN. IN CASE OF CONFLICTS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
- GYPSUM WALLBOARD:
  - REGULAR WALLBOARD: TO COMPLY WITH ASTM C-36; OR FS SS-L-30D, TYPE III, 5/8" THICKNESS, TAPERED EDGE.
  - MOISTURE-RESISTANT WALLBORAD: TO COMPLY WITH ASTM C-630. GRADE REGULAR, 5/8" THICKNESS, TAPERED EDGE. USE WR BOARD FULL HEIGHT, ON ALL WALLS IN ALL RESTROOMS AND JANITOR'S CLOSET.
- WALLBOARD ACCESSORIES:
  - CORNER BEAD REINFORCEMENT: USG DUR-A-BEAD, SIZE AS REQUIRED.
  - METAL EDGE REINFORCEMENT: USG NO. 200-B.
  - CONTROL JOINTS: USG #093.
- FASTENERS: SELF DRILLING, SELF TAPPING, BUGLE HEAD SCREWS, FOR USE WITH POWER DRIVEN TOOL TYPE S FOR APPLICATION TO LIGHT GAUGE METAL FRAMING, MINIMUM 1", TYPE 9-12 FOR APPLICATION TO HEAVY GAUGE METAL FRAMING (ASTM C-646).
- INSTALLATION - SUSPENDED CEILINGS:
  - EXCEPT WHERE OTHERWISE INDICATED, PROVIDE 1-1/2" MAIN RUNNER CHANNELS SPACED ON 4 FOOT CENTERS AND METAL FURRING CHANNELS SPACED ON NOT OVER 16" CENTERS. MAIN RUNNER CHANNELS TO HAVE HANGER WIRES SPACED 48" O.C. ALONG ITS LENGTH AND WITHIN 6" OF ENDS. WIRE HANGERS SHALL BE OF SUCH LENGTH SO THAT THE LOWER ENDS MAY BE SADDLE TIED OR WRAPPED AROUND THE MAIN RUNNERS SO AS TO PREVENT TURNING OR TWISTING OF THE RUNNERS.
  - SECURELY CLIP METAL FURRING CHANNELS TO MAIN RUNNERS USING FURRING CHANNEL CLIPS OR SADDLE TIE WITH 2 STRANDS OF 16 GAUGE TIE WIRE. INSTALL FURRING CHANNEL CLIPS ON ALTERNATIVE SIDES OF THE MAIN RUNNER CHANNEL.
  - AT LIGHTS OR OTHER OPENINGS THAT INTERRUPT THE MAIN RUNNER OR FURRING CHANNELS REINFORCE GRILLAGE WITH 3/4" COLD-ROLLED CHANNELS, WIRE TIED ATOP AND PARALLEL TO THE MAIN RUNNER CHANNELS.
  - APPLY WALLBOARD WITH LONG DIMENSION AT RIGHT ANGLES TO THE FURRING CHANNELS, WITH ALL ABUTTING ENDS AND EDGES OCCURRING OVER THE WEB SURFACE OF THE FURRING CHANNEL. INSTALL WALLBOARD WITH 5/8" SCREWS SPACED 8" O.C. IN THE FIELD OF THE BOARD, AT ALL BEARINGS, AND ALONG ABUTTING EDGES. INSTALL CONTROL JOINTS AT A MAXIMUM OF 20'-0" O.C., IN EACH DIRECTION.

- INSTALLATION - INTERIOR WALLS:
  - APPLY WALLBOARD WITH LONG DIMENSION AT RIGHT ANGLES TO FRAMING OR FURRING MEMBERS WITH ALL ABUTTING ENDS AND EDGES OCCURRING OVER STUD FLANGES. CUT WALLBOARD NEATLY TO FIT AROUND ALL OPENINGS. WALLBOARD TO EXTEND TO WITHIN 1/4" OF THE FLOOR.
  - WHEREVER WALLBOARD TERMINATES AGAINST DISSIMILAR MATERIALS OR WHERE EDGES OF WALLBOARD ARE EXPOSED, INSTALL METAL EDGE REINFORCEMENT AS SPECIFIED. AT ALL OUTSIDE CORNERS INSTALL METAL CORNER BEAD REINFORCEMENT AS SPECIFIED.
  - INSTALL CONTROL JOINT OVER FACE OF WALLBOARD PANELS. CUT END JOINTS SQUARE, BUTT TOGETHER AND ALIGN TO PROVIDE NEAT FIT. ATTACH CONTROL JOINT TO WALLBOARD PER USG RECOMMENDATIONS. LOCATE CONTROL JOINTS AT MAXIMUM 50'-0" O.C. AND IN ACCORDANCE WITH USG GYPSUM CONSTRUCTION HANDBOOK, LATEST EDITION.
  - AT METAL STUDS APPLY WALLBOARD USING SCREWS SPACED A MAXIMUM OF 12" O.C. IN THE FIELD OF THE BOARD AND 12" O.C. ALONG THE ABUTTING END JOINTS.
  - WHERE W/R WALLBOARD IS USED, COAT ALL CUT EDGES AND FASTENER HEADS WITH USG SHEETROCK W/R SEALANT. TREAT ALL CUT EDGES, UTILITY HOLES, AND JOINTS, INCLUDING THOSE AT ANGLE INTERSECTIONS PRIOR TO INSTALLATION.
  - PROVIDE PERIMETER RELIEF WHERE NON-LOAD-BEARING WALLBOARD PARTITIONS ABUT STRUCTURAL DECKS OR CEILINGS OR VERTICAL STRUCTURAL ELEMENTS. ALLOW NOT LESS THAN 1/4", NOR MORE THAN 1/2" GAP BETWEEN WALLBOARD AND STRUCTURE. FINISH EDGES OF WALLBOARD FACE LAYER WITH SQUARE-NOSE METAL CASING BEAD AND CAULK SPACE BETWEEN CASING BEAD AND STRUCTURE WITH CONTINUOUS SEALANT BEAD. ATTACH WALLBOARD TO STUDS NOT LESS THAN 1/2" BELOW BOTTOM EDGE OF CEILING TRACK FLANGES AND TO FIRST STUD ADJACENT TO VERTICAL TRACKS. DO NOT ATTACH WALLBOARD DIRECTLY TO TRACKS.
  - WHERE WALLBOARD PARTITIONS INTERSECT MASONRY WALLS, PROVIDE CONTROL JOINT NO LESS THAN 1/4", NOR MORE THAN 3/8" WIDE BETWEEN WALLBOARD AND MASONRY. FINISH EXPOSED EDGES OF WALLBOARD WITH SQUARE-NOSE METAL CASING BEAD AND CAULK SPACE BETWEEN CASING BEAD AND MASONRY WITH CONTINUOUS SEALANT BEAD.
  - INSTALL DRYWALL FULL HEIGHT AT ALL WALLS THAT GO FULL HEIGHT TO ROOF STRUCTURE.
- FINISHING:
  - ALL GYPSUM BOARD IS TO BE FINISHED PER GYPSUM ASSOCIATION PUBLICATION GA 216-96., 'RECOMMENDED LEVELS OF GYPSUM BOARD FINISH'.
  - GYPSUM BOARD FINISH IS TO BE LEVEL 3, LIGHT SKIP TROWEL TEXTURE.
  - APPLY WALL TEXTURE TO ALL EXPOSED WALLS, UPON COMPLETION OF FINISHING SPECIFIED ABOVE, SURFACES SHALL BE FREE OF DUST, DIRT AND OIL BEFORE APPLICATION. CONTRACTOR SHALL VERIFY WITH OWNER WHICH WALLS ARE TO RECEIVE WALL COVERING, IF ANY.
  - FINISH SHALL BE A LIGHT SKIP TROWEL TEXTURE. FURNISH A 3'x3' FINISH SAMPLE FOR OWNER'S APPROVAL BEFORE MATERIALS ARE ORDERED.

#### SECTION 09500 - ACOUSTICAL TREATMENT - LAY IN

- USE TILE UNITS AS INDICATED IN MATERIALS SCHEDULE.
- SUSPENSION SYSTEMS IS TO BE ARMSTRONG PRELUDE XL, 15/16", GRID SYSTEM, FLAT WHITE. WHERE SUSPENSION SYSTEM METES WALLS USE SHADOW MOLDING, FLAT WHITE. SYSTEM SHALL CONFORM TO THE INTERMEDIATE DUTY CLASSIFICATION OF ASTM C-635.
- CONTRACTOR SHALL LEAVE OWNER WITH THREE UNOPENED CARTONS OF CEILING TILES.
- INSTALL THE CEILING SUSPENSION SYSTEM PER THE RECOMMENDATIONS OF ASTM C-636. THE 2012 IBC AND ICC REPORT NO. ESR-1308. LOADING OF ANY COMPONENT MAY NOT CAUSE DEFLECTION OF MORE THAN 1/360 OF THE SPAN. INSTALL 2 PROPER TYPE HOLD DOWN CLIPS PER LOCKING CROSS TEE.
- ALL LIGHTING FIXTURES WEIGHING LESS THAN 56 POUNDS SHALL HAVE TWO NO. 12 GAGE HANGERS CONNECTED FROM THE FIXTURE HOUSING TO THE STRUCTURE ABOVE. THESE WIRES MAY BE SLACK.

#### SECTION 09662 - RESILIENT RUBBER BASE

- MOLDED RUBBER COVE BASE (TOP SET OR CARPET) SHALL BE 4" HIGH X 1/8" THICK.
- AFTER PREPARATION OF WALL SURFACES, APPLY ADHESIVE TO BACK OF BASE LEAVING TOP 1/4" FREE OF ADHESIVE. PRESS BASE FIRMLY AGAINST THE WALLS SLIDING HORIZONTALLY INTO PLACE, MAKING SURE TOE IS TIGHT TO THE FLOOR AND AGAINST THE WALL. ROLL THE ENTIRE SURFACE OF THE BASE WITH A HAND ROLLER, AND PRESS THE TOP OF THE BASE AGAINST THE WALL WITH A STRAIGHT EDGE. REMOVE EXCESS ADHESIVE IMMEDIATELY. INSTALL PRE-FORMED CORNERS AT ALL OUTSIDE CORNERS. COPE AT INTERNAL CORNERS. WHERE BASE TERMINATES AT PROJECTIONS, INSTALL END CAPS.

#### SECTION 09663 - ALUMINUM FLOOR TRANSITION STRIPS

- ALUMINUM FLOOR TRANSITION STRIPS ARE TO BE MANUFACTURED BY SCHLUTER.
- TO BE AS FOLLOWS:

CERAMIC TILE TO CONCRETE	RENO-RAMP/K WITH AE FINISH
CERAMIC TILE TO VCT OR VINYL	RENO-U

- INSTALL TRANSITION STRIPS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

#### SECTION 09900 - PAINTING

- PROVIDE ALL PAINTING AND FINISHING REQUIRED FOR ALL INTERIOR AND EXTERIOR UNFINISHED SURFACES. ALSO PAINT ALL BACKFLOW PREVENTION DEVICES AND SERVICE ENTRANCE SECTIONS, TO MATCH MAIN BUILDING COLOR.
- CONTRACTOR SHALL PROVIDE OWNER WITH ONE UNOPENED 5 GALLON BUCKET OF EACH TYPE AND COLOR OF PAINT USED IN THE PROJECT. BUCKETS ARE TO BE CLEARLY MARKED AS TO PAINT TYPE AND COLOR.
- PREPARE A COMPLETE SCHEDULE SHOWING THE MATERIALS PROPOSED TO BE USED FOR EACH SURFACE AND SUBMIT SAME FOR REVIEW/APPROVAL BY ARCHITECT BEFORE PAINTING BEGINS.
- DELIVER ALL PAINT TO SITE IN MANUFACTURER'S LABELED AND SEALED CONTAINERS LABELS SHALL GIVE MANUFACTURER'S NAME, BRAND, TYPE, BATCH NUMBER, COLOR OF PAINT AND INSTRUCTIONS FOR REDUCING. THIN ONLY IN ACCORDANCE WITH PRINTED DIRECTIONS OF MANUFACTURER.
- BEFORE PAINTING, REMOVE HARDWARE, ACCESSORIES, PLATES, LIGHTING FIXTURES AND SIMILAR ITEMS OR PROVIDE AMPLE PROTECTION OF SUCH ITEMS. ON COMPLETION OF EACH SPACE, REPLACE ABOVE ITEMS. PROTECT ADJACENT SURFACES AS REQUIRED OR DIRECTED.
- PREPARATION, APPLICATION, WORKMANSHIP, COMPLETION, AND ACCEPTANCE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE PROVISIONS OF 'PAINTING SPECIFICATION MANUAL' BY P.D.C.A. FOR TYPE 1 STANDARD JOB. PERFORM ALL WORK USING ONLY EXPERIENCED, COMPETENT PAINTERS. HAND BRUSH OR ROLL WORK EXCEPT WHERE OTHERWISE PERMITTED OR DIRECTED. WHEN COMPLETED, THE PAINTING SHALL REPRESENT A FIRST-CLASS WORKMANLIKE APPEARANCE. APPLY ALL PAINT MATERIALS UNDER ADEQUATE ILLUMINATION.
- ALL COATINGS MUST COMPLY WITH APPLICABLE LOCAL AND FEDERAL REGULATIONS GOVERNING VOLATILE ORGANIC COMPOUNDS. IF THESE SPECIFICATIONS DO NOT MEET THESE STANDARDS THEN CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY.
- PAINT ONLY WHEN SURFACES ARE CLEAN, DRY, SMOOTH AND ADEQUATELY PROTECTED FROM DAMPNESS. EACH COAT OF PAINT SHALL BE WELL BRUSHED ON, WORKED OUT EVENLY AND ALLOWED TO DRY AT LEAST 24 HOURS BEFORE THE SUBSEQUENT COAT IS APPLIED. FINISHED WORK SHALL BE UNIFORM, OF APPROVED COLOR, SMOOTH AND FREE FROM RUNS, SAGS, CLOGGING OR EXCESSIVE FLOODING. MAKE EDGES OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHARP AND CLEAN, WITHOUT OVERLAPPING. WHERE HIGH GLOSS ENAMEL IS USED, LIGHTLY SAND UNDERCOATS TO OBTAIN A SMOOTH FINISH COAT.
- ALL EXPOSED WATER, GAS, AIR, SPRINKLER, WASTE PIPING, EXPOSED CONDUIT, LIGHTING PANELS, AND TELEPHONE TERMINAL BOXES. EXPOSED DUCTWORK DOES NOT NEED TO BE PAINTED.
- FOR EXTERIOR COLORS REFER TO MATERIALS SCHEDULE.
- AL EXTERIOR MASONRY BUILDING AND SITE WALLS ARE TO BE SEALED PER SECTION 07170.

#### PAINTING SCHEDULES:

THE FOLLOWING SCHEDULES ARE BASED ON SHERWIN WILLIAMS

EXTERIOR:  
PAINT SYSTEM 1 - GALVANIZED METAL (SEMI-GLOSS):  
PRETREATMENT - SUPREME CHEMICAL, METAL CLEAN AND ETCH (ME 01)  
1 COAT GALV-ALUM PREMIUM (GAPR00)  
2 COATS OF EVERSHIELD (EVSH50)

INTERIOR DRYWALL:  
1. PRIMER TO BE ONE COAT OF PVA DRYWALL PRIMER AND SEALER, WHITE  
2. FINISH TO BE TWO COATS OF PROMAR 200 ZERO VOC INTERIOR LATEX, EGGSHELL

HOLLOW METAL DOOR AND FRAMES:  
1. PRIMER TO BE ONE COAT OF B66W00310-PRO INDUSTRIAL PRO-CRYL UNIVERSAL ACRYLIC PRIMER, OFF WHITE  
2. FINISH TO BE TWO COATS OF A76W00051 SOLO INT/EXT 100% ACRYLIC SEMI-GLOSS

#### DIVISION 22 - PLUMBING

- REFER TO PLUMBING PLANS

#### DIVISION 23 - HEATING, VENTILATION AND AIR CONDITIONING

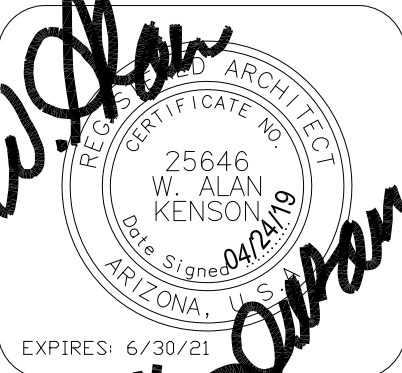
- REFER TO MECHANICAL PLANS

#### DIVISION 26 - ELECTRICAL

- REFER TO ELECTRICAL PLANS

REVISIONS	BY

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**ARCHITECTURE & PLANNING**

DRAWING: Specifications

PROJECT: ERAU Building 75 Office Remodel  
3700 Willow Creek Road  
Prescott, AZ 86301

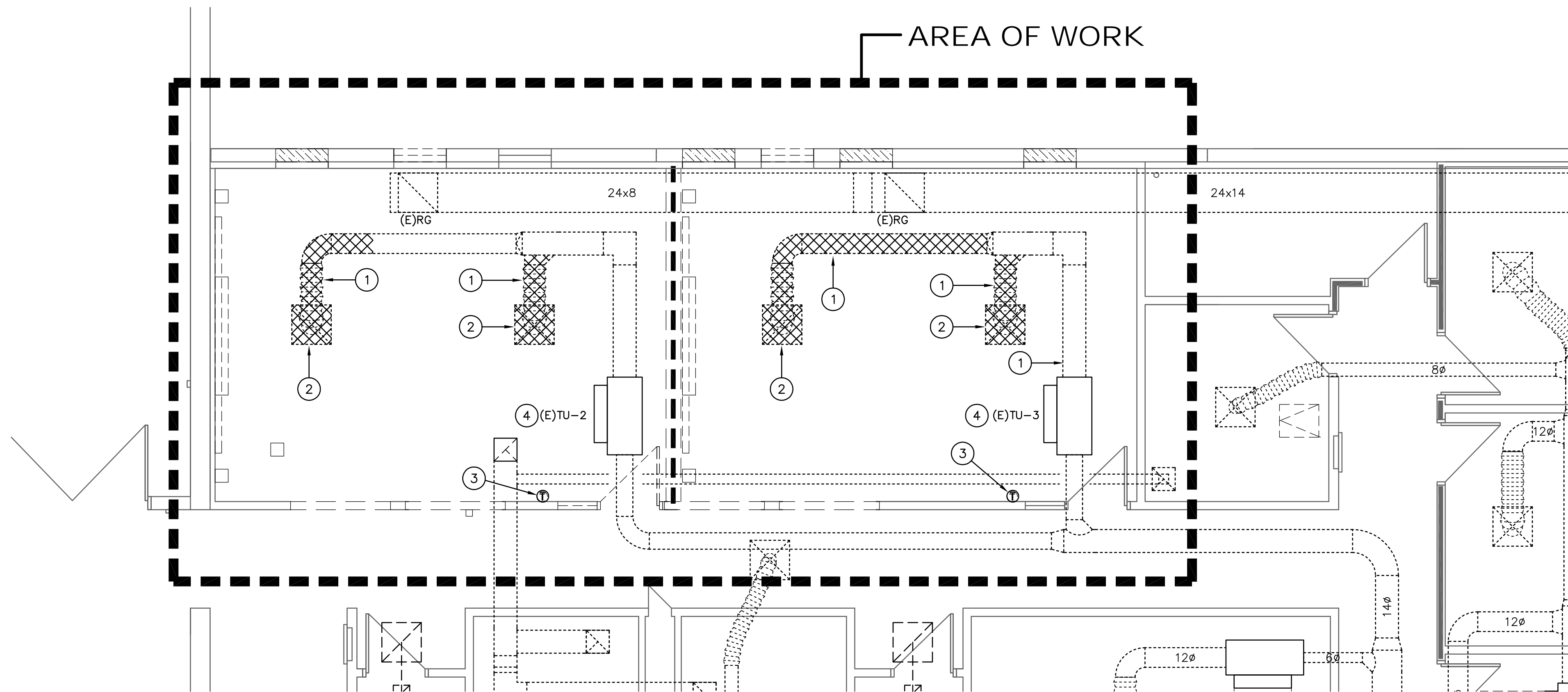
APN: 106-03-004

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE April 25th, 2019
JOB NO. 731
SHEET

**A4.2**

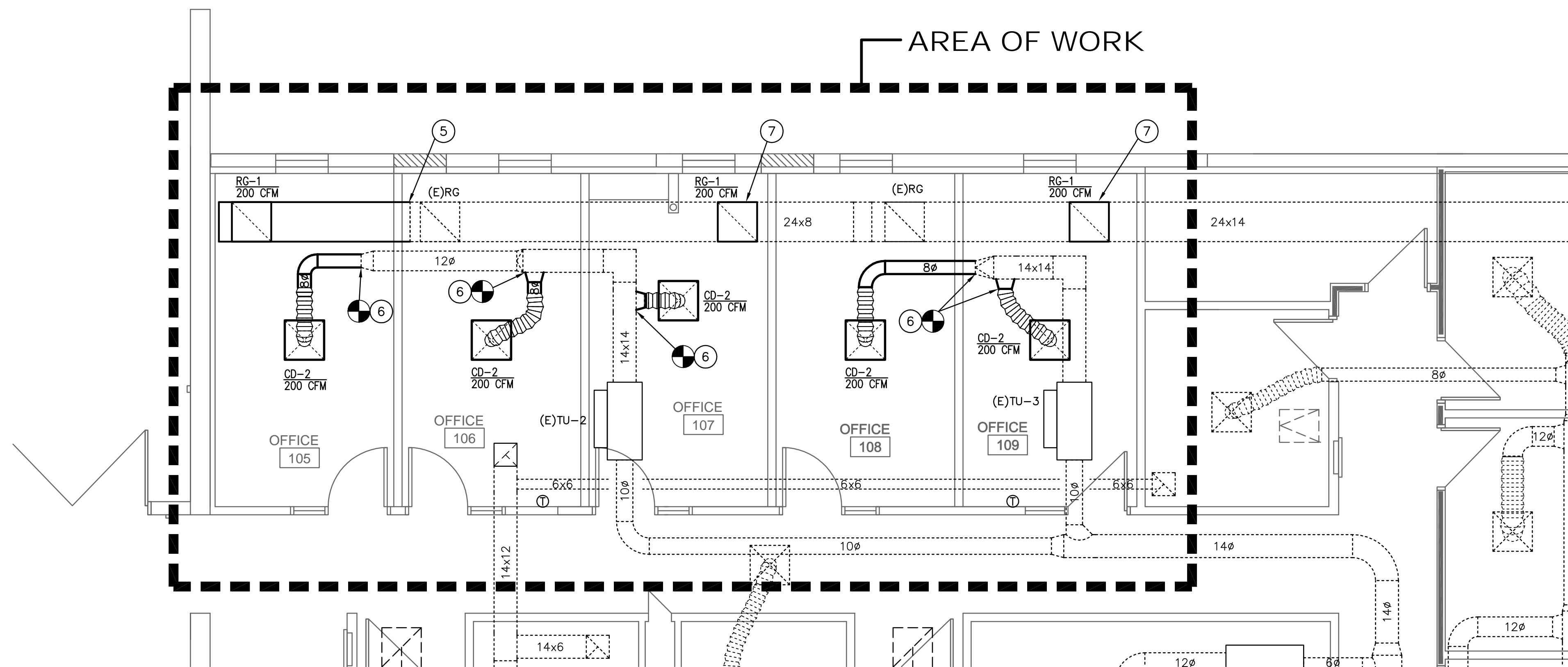


Mar 25, 2019 - 1:35pm



**Demo Floor Plan**

Scale: 1/4"=1'-0"



**Mechanical Floor Plan**

Scale: 1/4"=1'-0"



## KEYNOTES

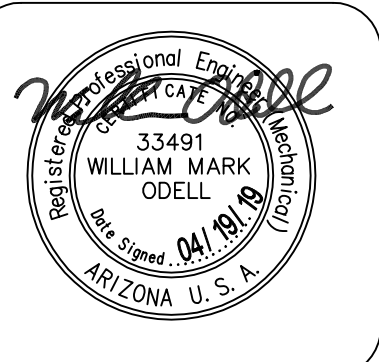
- 1 REMOVE EXISTING BRANCH DUCT SHOWN HATCHED.
- 2 REMOVE EXISTING CEILING SUPPLY DIFFUSER.
- 3 EXISTING TERMINAL UNIT HEATING/COOLING THERMOSTAT ON WALL TO REMAIN.
- 4 EXISTING TERMINAL UNIT TO REMAIN. REBALANCE BALANCE FOR NEW TOTAL CFMS AS SHOWN.
- 5 EXTEND 24x8 RETURN DUCT AND INSTALL NEW 24x24 RETURN GRILLE IN OFFICE 105.
- 6 CONNECT NEW BRANCH DUCT TO EXISTING. PROVIDE WITH SPIN-IN FITTINGS AND BALANCING DAMPER., FLEX DUCT RUNOUT AND SHEET METAL ELBOW AT DIFFUSER CONNECTION TO PREVENT KINKING IN DUCT. BALANCE TO CFM SHOWN.
- 7 NEW RETURN GRILLE CONNECTED TO EXISTING RETURN DUCT ABOVE CEILING.

### NOTE:

A COPY OF THE AIR BALANCE REPORT, SIGNED BY MECHANICAL CONTRACTOR, SHALL BE PROVIDED TO THE ARCHITECT FOR FINAL APPROVAL.

REVISIONS	BY

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**ARCHITECTURE & PLANNING**

**DRAWING:** Mechanical Floor Plan

**PROJECT:** ERAU Building 75 Office Remodel  
3700 Willow Creek Road  
Prescott, AZ 86301

**APN:** 106-03-004

DRAWN BY J.O.
CHECKED BY W.M.O.
DATE Mar. 25th, 2019
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## ELECTRICAL SYMBOLS

NOTE: NOT ALL SYMBOLS ARE USED ON THIS PROJECT

A	FLUORESCENT FIXTURE, WITH FIXTURE DESIGNATED BY LETTER. SMALL LETTER INDICATES SWITCH LEG
NL	NIGHT LIGHT- NOT SWITCHED OR EMERGENCY
I	FLUORESCENT STRIP FIXTURE.
O	CEILING OR WALLMOUNTED FIXTURE.
PC	PORCELAIN PULL CHAIN FIXTURE
J	JUNCTION BOX
J	JUNCTION BOX WITH FLEX CONNECTION.
X	SINGLE FACE EXIT SIGN- NOT SWITCHED
X	DOUBLE FACED EXIT SIGN- NOT SWITCHED.
L	TWO HEAD EMERGENCY LIGHT WITH BATTERY.
S	SINGLE POLE SWITCH, + 48" A.F.F. (20A-120/277V)
S <sub>3</sub>	THREE WAY SWITCH, + 48" A.F.F. (20A-120/277V)
S <sub>4</sub>	4-WAY SWITCH +48" AFF (20A-120/277V)
S <sub>P</sub>	SWITCH AND PILOT LIGHT (20A-120-/277V)
S <sub>K</sub>	SINGLE POLE SWITCH, KEY OPERATED (20A)
W	WALL OR CEILING MOUNTED MOTION SENSOR MANUFACTURE BY LAVITON
D	DIMMER CONTROL, + 48" A.F.F. TYPE, RATING AS NOTED
R	DUPLEX RECEPTACLE, + 18" A.F.F. (20A)
R	DUPLEX RECEPTACLE ABOVE COUNTER, VERIFY HEIGHT. (20A)
R	FOURPLEX RECEPTACLE, + 18" A.F.F. (20A)
R	HALF SWITCHED DUPLEX RECEPTACLE (20A)
R	SPECIAL RECEPTACLE - SIZE & TYPE AS NOTED
P	POWER / PHONE / DATA FLUSH FLOOR OUTLET
V	TELEPHONE OUTLET PLASTER RING AT + 18" A.F.F. HUBBELL #12 COVERPLATE. 3/4" C TO CEILING SPACE UNLESS SHOWN WITH HOMERUNS.
V	DATA SYSTEM OUTLET, 4" SQUARE BOX AND COVERPLATE, 3/4" C. TO CEILING SPACE UNLESS SHOWN WITH HOMERUN, + 18" A.F.F.
V	TELE/DATA COMBO OUTLET, 4" SQUARE BOX AND COVERPLATE, 3/4" C. TO CEILING SPACE UNLESS SHOWN WITH HOMERUN, + 18" A.F.F.
V	CABLE TELEVISION (CATV) OUTLET PLASTER RING AT + 18" A.F.F. U.N.O. HUBBELL COVERPLATE. 3/4" C TO CEILING SPACE UNLESS SHOWN WITH HOMERUNS.
T	TELEPHONE SYSTEM CONDUIT HOMERUN WITH NYLON PULLWIRE (1" MIN UNO)
T	CLOSED CIRCUIT TV (CCTV) OUTLET SAME AS CATV OUTLET
T	REMOTE CONTROL STATION @ +48" AFF
T	DISCONNECT SWITCH, FUSE PER EQUIPMENT MANUFACTURERS RECOMMENDATION. OUTSIDE NEMA 3R - N.F. = NON-FUSED.
T	COMBINATION STARTER AND FUSIBLE DISCONNECT SWITCH SIZE AS NOTED
E	EQUIPMENT TERMINATION CONNECTION POINT VERIFY EXACT LOCATION LOAD AND VOLTAGE AS NOTED
M	MOTOR
SM	THERMAL PROTECTED SWITCH
M	MOTOR STARTER - SHADING INDICATES F.B.O.
D	DISTRIBUTION PANELBOARD.
D	BRANCH CIRCUIT PANELBOARD.
D	CONDUIT BELOW FLOOR OR UNDERGROUND
D	CONDUIT IN WALL OR ABOVE CEILING
D	HOMERUN TO PANEL
D	CONDUIT TURNING UP
D	CONDUIT TURNING DOWN
D	CONDUIT STUB-OUT, MARK AND CAP AS DIRECTED
D	GROUND WIRE (SIZE AS NOTED) EXTENDED AND CONNECTED TO APP'D GROUND

ALL WIRING #6 AWG AND LARGER SHALL BE XHHW COPPER. #8 AWG AND SMALLER SHALL BE THHN/THWN COPPER

## SPECIFICATIONS

- PRIOR TO SUBMITTING BID, SUBCONTRACTORS SHALL EXAMINE ALL GENERAL CONSTRUCTION DRAWINGS AND VISIT THE CONSTRUCTION SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS UNDER WHICH HE WILL HAVE TO OPERATE AND WHICH IN ANY WAY AFFECTS THE WORK UNDER HIS CONTRACT. NO SUBSEQUENT ALLOWANCE WILL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
- THE SUBCONTRACTOR SHALL BE HELD FULLY RESPONSIBLE FOR THE PROPER RESTORATION OF ALL EXISTING SURFACES REQUIRING PATCHING, PLASTERING, PAINTING AND /OR OTHER REPAIR DUE TO THE INSTALLATION OF ELECTRICAL WORK UNDER THE TERMS OF THE CONTRACT. CLOSE ALL OPENINGS, REPAIR ALL SURFACES, ETC., AS REQUIRED.
- SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, ELEVATIONS AND BUILDING DETAILS. VERIFY LOCATION OF ALL OUTLETS, SWITCHES, AND WALL MOUNTED LIGHTING FIXTURES WITH ARCHITECTURAL DRAWINGS AND ACTUAL CONDITIONS. VERIFY ALL CEILING TYPES WITH ARCHITECTURAL DRAWINGS BEFORE ORDERING FIXTURES.
- PRIOR TO ROUGH-IN AND FINAL CONNECTION, VERIFY ELECTRICAL CHARACTERISTICS AND EXACT LOCATION OF EQUIPMENT.
- GROUT AND SEAL ALL CONDUIT PENETRATIONS OF WALLS AND FLOOR SLABS TO PRESERVE FIRE RATING AND WATERTIGHT INTEGRITY.
- BRANCH CIRCUIT WIRING SHALL BE THHN/THWN INSULATION. PANEL FEEDERS SHALL BE TYPE XHHW. ALL WIRE SHALL BE COPPER. MINIMUM WIRE SIZE SHALL BE #12.
- ALL WIRING TO BE INSTALLED IN RACEWAYS. TYPE OF RACEWAY SHALL BE AS REQUIRED BY CODE. MINIMUM CONDUIT SIZE SHALL BE 1/2".
- PROVIDE CODE SIZED BOND WIRE IN ALL EMT, FLEXIBLE CONDUIT
- ALL ELECTRICAL EQUIPMENT SHALL BE NEW , U.L. APPROVED AND COMMERCIAL GRADE.
- WIRE RATED FOR 150° CENTIGRADE SHALL BE USED FOR ALL INCANDESCENT LIGHTING FIXTURES.
- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST NATIONAL CODE, (N.E.C.), AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- PROVIDE TYPEWRITTEN DESCRIPTIVE PANEL DIRECTORIES

### FIRE WALL/FLOOR PENETRATION

ALL PENETRATIONS OF FIRE RESISTIVE FLOORS OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAIL THAT CONFORM TO UNDERWRITERS LABORATORY'S LISTINGS FOR THROUGH PENETRATION FIRESTOP SYSTEMS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS WHICH SHOW COMPLETE CONFORMANCE WITH THE LISTING TO THE ARCHITECT AND SUCH DRAWINGS SHALL BE AVAILABLE TO THE LOCAL GOVERNING INSPECTORS. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION WITH ALL VARIABLES DEFINED.

### OUTLET MOUNTING HEIGHTS PER AMERICAN DISABILITY ACT

SWITCHES	+48" (MAX)
RECEPTACLES	+18" (MIN.)
TELEPHONE/DATA	+18" (MIN.)
SIDE REACH	+54" (MAX)

### GENERAL ELECTRICAL DEMOLITION NOTES

- RETURN REMOVED MATERIAL DEEMED SALVAGEABLE TO OWNER'S REPRESENTATIVE. MATERIALS DEEMED NOT SALVAGEABLE SHALL BE REMOVED FROM THE PREMISES.
- THE CONTRACTOR WILL EXAMINE THE PREMISES AND SATISFIED HIMSELF AS TO EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO PERFORM HIS WORK. THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND THE CONTRACTOR SHALL FIELD VERIFY ALL DETAILS OF DEMOLITION.
- REMOVE ALL EXISTING WIRING DEVICES, LIGHT FIXTURES, WIRE, CONDUIT, DISCONNECTS, ETC., AS NOTED OR INDICATED WITHIN DEMOLITION AREA. (ALL ITEMS MAY NOT BE SHOWN.) REWORK AS NECESSARY ALL CIRCUITING WHICH REQUIRES CONTINUATION THROUGH THE AREA.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK REQUIRED TO REMOVE/RELOCATE ANY EXISTING ELECTRICAL EQUIPMENT SUCH THAT ELECTRIC SHOCK HAZARDS TO WORKMEN ARE ELIMINATED DURING DEMOLITION AND NEW CONSTRUCTION.
- REMOVED OR DAMAGED CONDUIT, WIRE AND FITTINGS SHALL NOT BE RE-USED
- WORK REQUIRED FOR EXISTING EQUIPMENT NOTED AS "EXISTING TO BE REMOVED" SHALL INCLUDE:
  - SALVAGING OR DISPOSING OF ALL MATERIAL OR EQUIPMENT AS DIRECTED BY OWNER OR OWNER'S REPRESENTATIVE.
  - REMOVAL OF FEEDER OR CABLING FROM EQUIPMENT TO POINT OF FEED.
  - REMOVAL OR RECIRCUITING (AS REQUIRED OR AS NOTED ON PANELS) OF ALL BRANCH CIRCUITING.
  - REMOVAL OF ALL FITTINGS, SUPPORTS, BRACKETS, ETC.
  - REPAIR AND PATCHING OF WALLS, FLOORS AND CEILINGS TO MATCH EXISTING OR PER ARCHITECT'S INSTRUCTIONS.
  - CAPPING OF IN-SLAB FEEDER CONDUITS FLUSH WITH THE FINISHED FLOOR.
  - CAPPING OF FEEDER CIRCUITS AT 6" ABOVE OR BELOW THE FLOOR OR CEILING FOR IN-SLAB CONDUITS LOCATED UP NEXT TO A WALL OR FOR CEILING AREA CONDUITS.
  - THE OPPOSITE END LOCATION OF ALL EMPTY FEEDER CONDUITS AT SWITCHBOARDS, PANELBOARDS, ETC., SHALL BE MARKED USING AN ENGRAVED BRASS TAG ATTACHED TO THE CONDUIT.
  - EXISTING FEEDER CONDUITS SHALL BE REMOVED OR CUT OFF AND ABANDONED IF FOUND TO BE UNSALVAGEABLE BY THE OWNER, ARCHITECT OR ENGINEER.
- EXISTING EQUIPMENT NOT IMPLICITLY SHOWN ON THE DRAWINGS IS INTENDED TO BE "EXISTING TO REMAIN, " UNLESS NOTED OTHERWISE.

### PANELBOARD SYMBOLS

- ★ CONTINUOUS DUTY/LARGEST MOTOR • 125%
- PROVIDE BREAKER W/ HANDLE "LOOK-ON" DEVICE
- ◆ CIRCUIT VIA TIMECLOCK
- ▲ CIRCUIT VIA PHOTOCELL
- HACR TYPE CIRCUIT BREAKER
- EXISTING BREAKER W/ NEW LOAD
- EXISTING BREAKER W/ EXISTING LOAD
- △ NEW BREAKER W/ NEW LOAD

PANELBOARD				RPG				SCHEDULE			
MAINS: 200A MLO				LOAD-VA				LOCATION: SEE PLAN			
VOLTAGE: 120 /208V, 3Ø, 4W								MOUNTING: SURFACE			
TYPE: EXISTING								MIN. A.I.C.: EXISTING			
CIRCUIT DESCRIPTION	BKR.	CR. NO.	ØA	ØB	ØC	CR. NO.	BKR.	CIRCUIT DESCRIPTION			
EXISTING EQUIPMENT	20	1				20	1	EXISTING EQUIPMENT			
		3					4				
		5					6				
		7					8				
		9					10				
		11					12				
		13					14				
		15					16				
		17					18				
		19					20				
		21					22				
		23					24	SPARE			
		25					26				
RECEPT'S. - ROOM 107, 108 & 109		27		900			28				
RECEPT'S. - ROOM 105, 106 & 107		29		900			30				
SPARE		31					32				
		33					34				
		35					36				
		37					38				
		39					40				
		41					42				
TOTAL LOAD PER PHASE: NEW ESTIMATED ADDED LOAD:				900	900	H# 900		/ 120 = 7.5	AMPS		

NOTE: ADDED LOAD WILL NOT OVER LOAD EXISTING PANEL

### ABBREVIATIONS

EX	EXISTING LIGHT OR DEVICE TO REMAIN
RE	EXISTING LIGHT OR DEVICE TO BE REPLACED OR RELOCATED EXTEND CIRCUITING AS REQUIRED IF NOT SHOWN.
ER	REPLACED OR RELOCATED LIGHT OR DEVICE
RM	REMOVED LIGHT OR DEVICE
A.F.F.	ABOVE FINISHED FLOOR ( ⌀ OF OUTLET )
A.F.G.	ABOVE FINISHED GRADE ( ⌀ OF OUTLET )
E.C.	EMPTY CONDUIT
UNO	UNLESS OTHERWISE NOTED
FBO	FURNISHED BY OTHERS
NL	NIGHT LIGHT
TYP	TYPICAL

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REVISIONS	BY

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ANGELLO OSSANNA  
REGISTERED ELECTRICAL ENGINEER  
EXPIRES 12/30/2021

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**ARCHITECTURE & PLANNING**

**DRAWING:** Electrical Symbols, Spec's, Panel Schedule With Notes

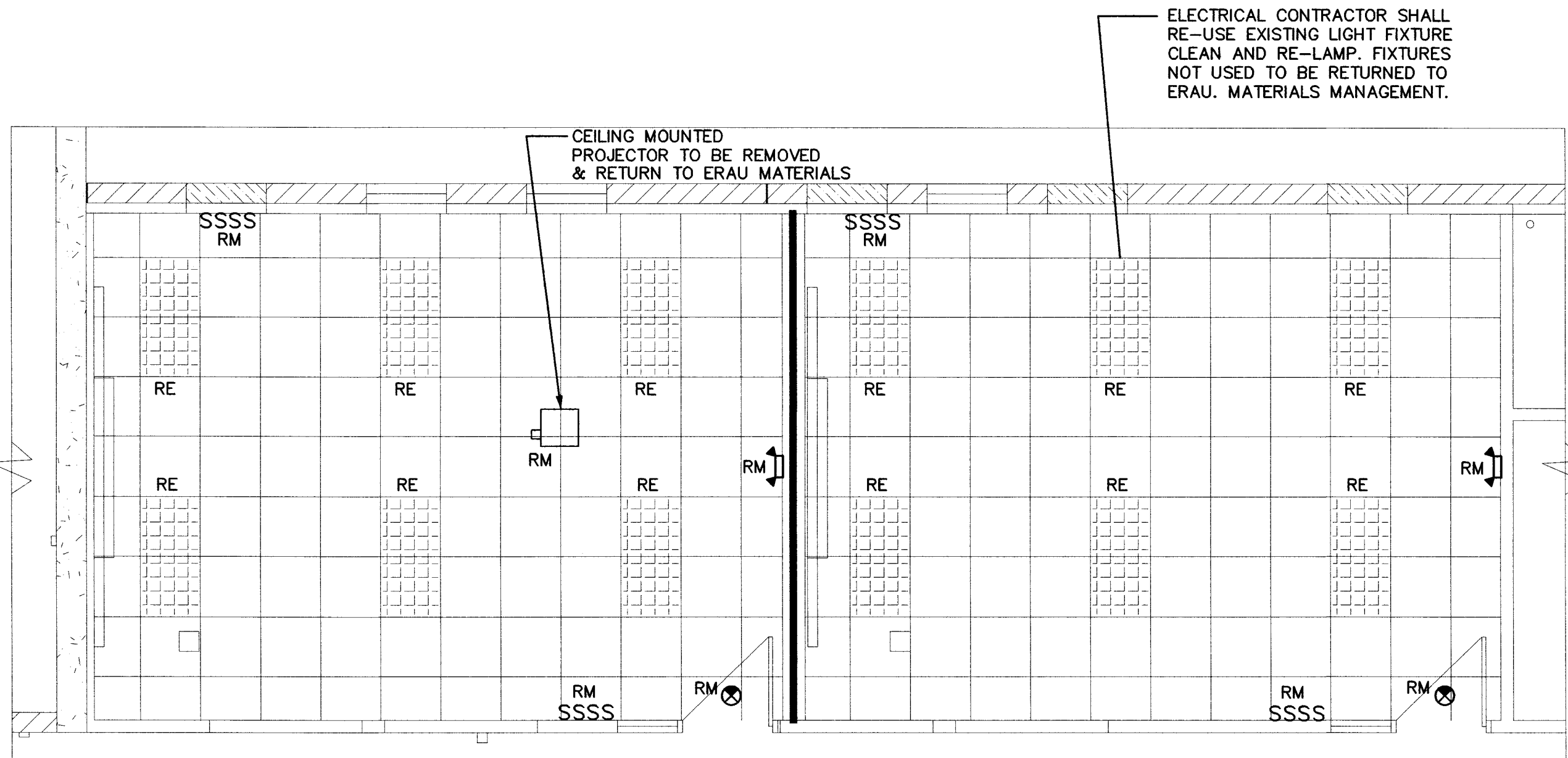
**PROJECT:** ERAU Building 75 Office Remodel  
3700 Willow Creek Road  
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**APN:** 106-03-004

DRAWN BY R.A.
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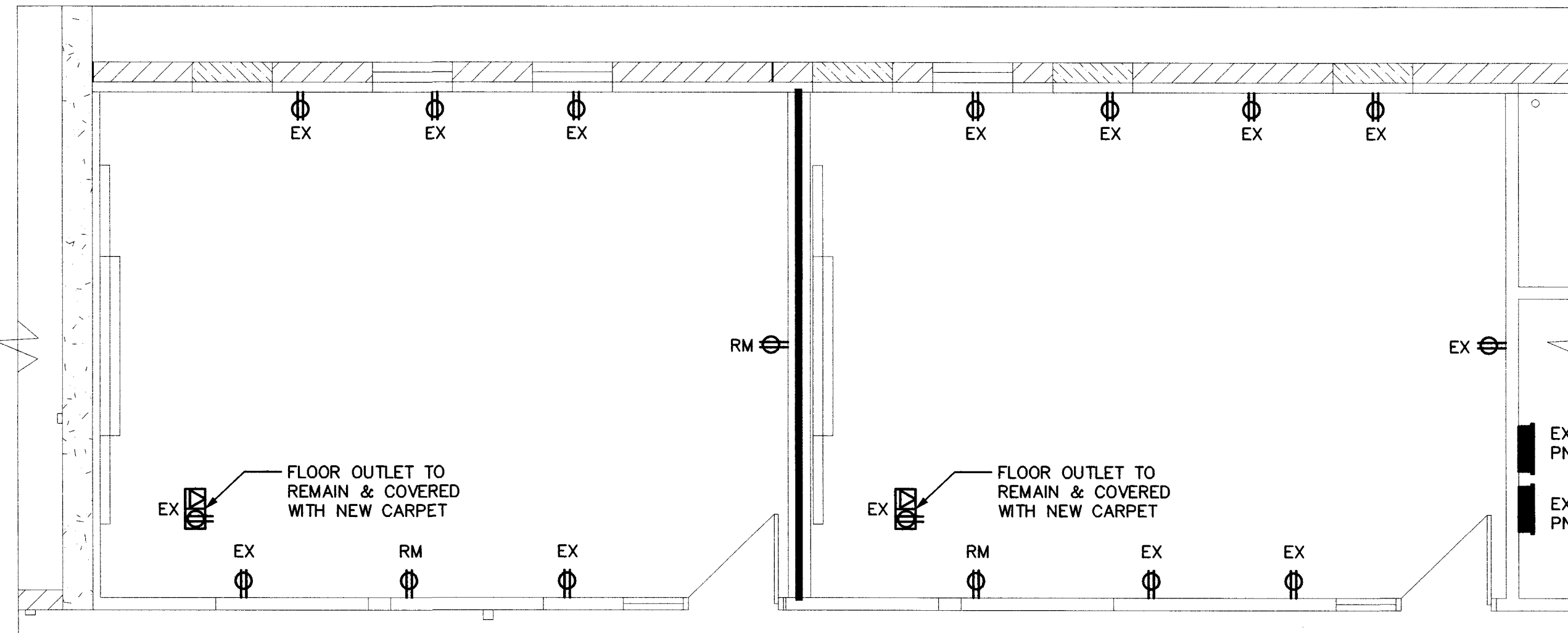
**GENERAL LIGHTING NOTE:**  
ELECTRICAL CONTRACTOR SHALL REMOVE ALL EXISTING LIGHT SWITCHES AND REPLACE WITH NEW MOTION SENSORS AS INDICATED. (TYPICAL)

### Demo Lighting Floor Plan

Scale: 1/4"=1'-0"



**GENERAL NOTE:**  
ELECTRICAL CONTRACTOR SHALL FIELD VERIFY SITE PRIOR TO BID TO CONFIRM ALL EXISTING ELECTRICAL EQUIPMENT TO BE REMOVED AND ABANDONED.

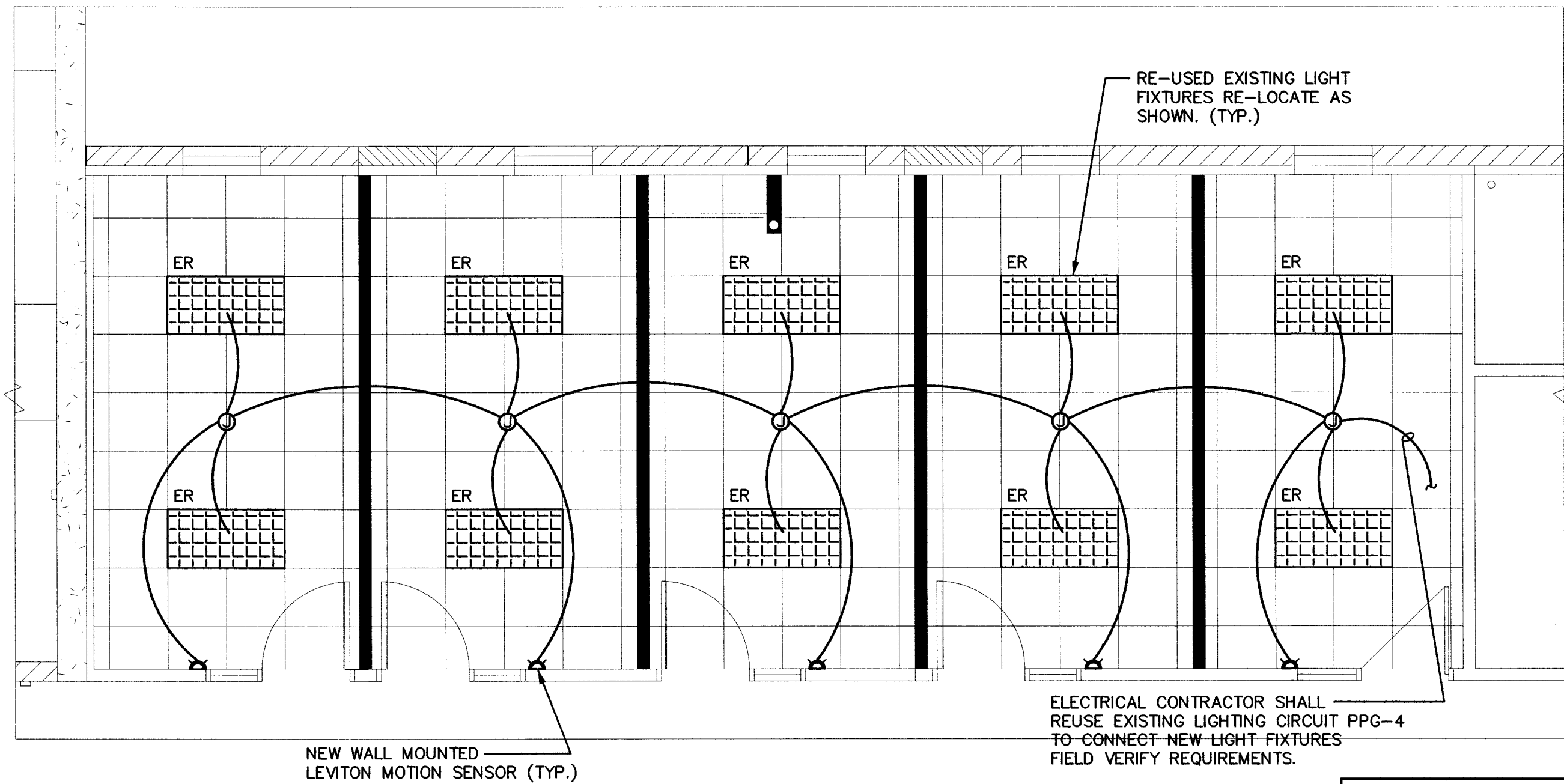


### Demo Power Floor Plan

Scale: 1/4"=1'-0"



**NOTE:**  
ELECTRICAL CONTRACTOR SHALL RE-CIRCUIT EXISTING RECEPTACLES TO REMAIN AND SHALL CONTINUE THE CONTINUITY OF CIRCUIT WHERE REQUIRED FIELD VERIFY REQUIREMENTS.



### Lighting Floor Plan

Scale: 1/4"=1'-0"



#### GENERAL LIGHTING NOTES:

- CONTRACTOR SHALL VERIFY ALL MOUNTING HEIGHTS, EXACT LOCATION AND REQUIREMENTS OF ALL LIGHTING FIXTURES AND SWITCHES WITH OWNER PRIOR TO ROUGH-IN.
- NIGHT LIGHTS (NL), EMERGENCY & EXIT LIGHT FIXTURES SHALL BE CONNECTED TO UNSWITCHED LEG OF CIRCUIT.
- ROMAX IS NOT ALLOWED.

#### DATA / COMMUNICATIONS:

##### HORIZONTAL COPPER

- PULL, TERMINATE, AND TEST A TOTAL OF 20 NEW DATA CABLES PER REMODEL PROGRAM TO IT ROOM 106.
  - QUANTITY 10, 2-DATA TO BE TERMINATED TO NEW WALL PLATES.
- TERMINATE HORIZONTAL DATA CABLES TO NEW 48-PORT CAT6 PATCH PANEL TO BE INSTALLED IN EXISTING 2-POST RACK IN RM-106.
- ABANDON IN PLACE EXISTING FLOOR BOXES AND CABLING.
- SUPPLY 15FT AND 5 FT BLUE CAT6 PATCH CABLES. QUANTITY OF EACH LENGTH PATCH CABLES SUPPLIED SHALL EQUAL THE TOTAL NUMBER OF DATA PORTS INSTALLED.

##### GENERAL

- USE BLUE COLORED CAT6 CABLE AND JACKS FOR DATA PORTS.
- INTERNAL BUILDING CABLES SHALL BE ROUTED IN FRAMED WALLS AND ABOVE CEILING. CABLES MAY BE NEATLY SUSPENDED IN ENCLOSED CEILING AREAS USING CABLE HANGERS. CABLE MOLDING AND/OR SURFACE MOUNTED CONDUIT IS ACCEPTABLE IF THE CABLING CAN NOT BE ROUTED IN WALLS AND/OR ABOVE CEILING. MATCH EXISTING WALL COLORS WITH ALL SURFACE MOUNTED ITEMS.
- IT HEAD END EQUIPMENT WILL BE OWNER SUPPLIED.

### Power Floor Plan

Scale: 1/4"=1'-0"



#### GENERAL POWER NOTES:

- CONTRACTOR SHALL VERIFY ALL MOUNTING HEIGHTS, EXACT LOCATION AND REQUIREMENTS OF ALL ELECTRICAL EQUIPMENT AND DEVICES WITH ENG., OWNER OR ARCHITECT PRIOR TO ROUGH-IN.
- ELECTRICAL CONTRACTOR SHALL RE-USE EXISTING CIRCUITS WHENEVER POSSIBLE.
- ALL RECEPTACLES IN AREAS WITH-IN 6'-0" OF A SINK SHALL BE GFCI TYPE PER NEC
- EXTERIOR & ROOF MOUNTED MAINT. RECEPT'S. SHALL BE WP, GFCI TYPE PER NEC
- VERIFY THE EXACT LOCATIONS OF ALL TELEPHONE OUTLETS, DATA OUTLETS AND SPECIAL SYSTEMS OUTLETS WITH THE ARCHITECT/OWNER PRIOR TO ROUGH-IN.
- ELECTRICAL CONTRACTOR SHALL PROVIDE COVER PLATES FOR ALL UNUSED OUTLETS, DATA OUTLETS AND SPECIAL SYSTEMS OUTLETS, FIELD VERIFY DEVICE NOT USED
- ELECTRICAL CONTRACTOR SHALL VERIFY MECHANICAL EQUIPMENT REQUIREMENTS BREAKER, DISC. & WIRE SIZE WITH MANUFACTURER PRIOR TO ROUGH-IN.
- MC CABLE SHALL BE ALLOWED PER APPROVAL BY THE CITY PLAN CHECKER & INSPECTORS. ROMAX IS NOT ALLOWED

ELECTRICAL DESIGN & CADD SERVICES INC.  
1600 LAMB LANE  
PRESCOTT, AZ. 86305  
PH: (928) 776-4900  
FAX: (928) 776-7800  
E-MAIL: EES@CABLEONE.NET

JOB# 19-27

**GENERAL NOTE:**  
ALL MECHANICAL A/C EQUIPMENT TO REMAIN AS IS NO CHANGES REQUIRED UNDER THIS PERMIT. FIELD VERIFY EXISTING CONDITIONS.

REVISIONS	BY

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*Angelo V. Omar*  
Professional Engineer  
No. 7450  
ANGELO OSSANNA  
Prescott, Arizona, U.S.A.  
EXPIRES 12/30/2021

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**DRAWING:** Lighting & Power Floor Plan  
With Notes  
**PROJECT:** ERAU Building 75 Office Remodel  
3700 Willow Creek Road  
Prescott, AZ 86301  
**APN:** 106-03-004

DRAWN BY R.A.
CHECKED BY A.O.
DATE Mar. 25th, 2019
JOB NO. 731
SHEET

# E1.1